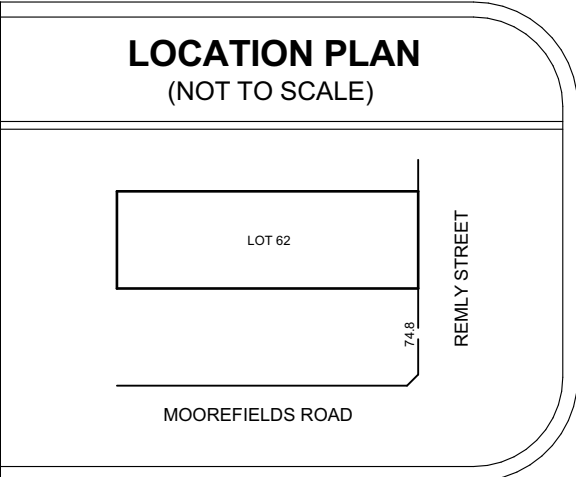


Proposed Demolition Plan
Scale 1:200



*ALL BOUNDARIES NOT FENCED UNLESS NOTED OTHERWISE *

NOTE:

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LEGEND OF COMMONLY USED SYMBOLS

WATER	-----
SEWER	-----
ELECTRICITY	-----
TELECOM	-----
GAS	-----
DRAINAGE	-----

TREE SCHEDULE (APPROX)

No.	DIAMETER	SPREAD	HEIGHT
T1	0.2	3.5	5
T2	0.2	3	5
T3	0.2	2.5	4
T4	0.1	2	3.5
T5	0.2	4	4

TREES TO BE RETAINED

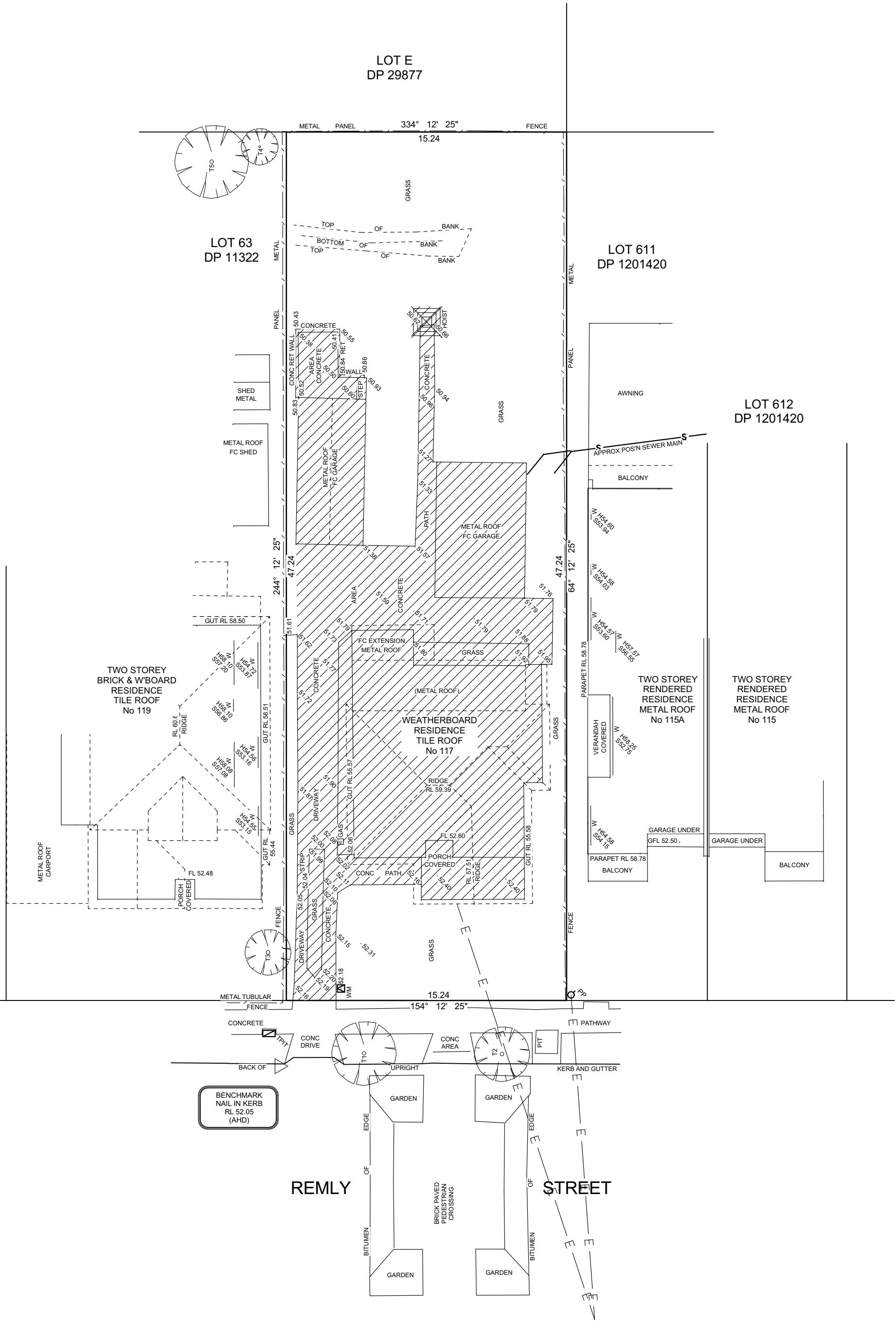
TREES TO BE REMOVED

LEGEND

BENCH MARK	△	STOP VALVE	SV
TELSTRA PIT	TPIT	WATER HYDRANT	HYD
ELECTRIC LIGHT POLE	LP	WATER METER	WM
POWER POLE	PP	TAP	TAP
SIGN POST	SP	GAS METER	GAS
SEWER INSPECTION PIT	SIP	ELECTRICAL PIT	EPIT
SEWER VENT	SV	ELECTRICAL BOX	EBOX
SEWER MANHOLE	SMH	STATE SURVEY MARK	SSM
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H - HEAD OF WINDOW	D0.4/S10/H16 - TREE		
S - WINDOW SILL	DIAMETER/SPREAD/HEIGHT		

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Plot Date: Tuesday, 8 April 2025

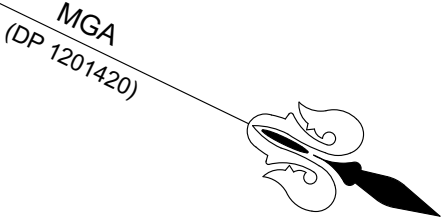


DEMOLITION NOTES:

HATCHING REPRESENTS DWELLING AND ASSOCIATED STRUCTURES TO BE DEMOLISHED AND REMOVED FROM SITE

DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001, The Demolition of Structures Part 7.2(1)(a)


ALL SERVICES ARE TO BE DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES



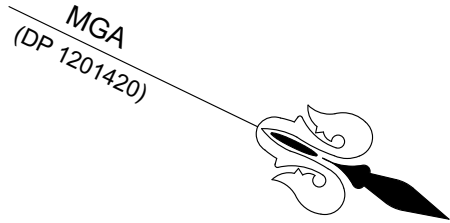
LOT 62
DP: 11322
719.9m²



Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

<div><div><div>CHAMPION HOMES</div><div>Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171</div><div>Telephone: (02) 9825 8000 Fax: (02) 9825 8110</div><div>www.championhomes.com.au</div><div>Builders Licence No.92732C</div></div></div>	<div>NOT FOR CONSTRUCTION</div>	<div>Soil Classification:</div> <div>TBC</div>					<div>Copyright. ©</div> <div>This plan is the property of Champion Homes and may not be used in whole or part.</div> <div>Legal action will be taken against any person who infringes the copyright.</div>	<div>Proposed: Duplex Design</div>	<div>Client :</div> <div>Michael Panormitis Giakoumis & Karina Pamela Giakoumis</div>
		<div>Slab Classification:</div> <div>TBC</div>						<div>Lot:62 DP:11322</div> <div>No. 117 Remly Street</div> <div>Roselands, NSW 2196</div>	<div>LGA:</div> <div>Canterbury-Bankstown Council</div> <div>Date:</div> <div>29.11.24</div>
		<div>Wind Speed Class:</div> <div>TBC</div>	C	08.04.25	BASIX INFO, ADDED & DA PLANS - CA				<div>Design :</div> <div>Modified Leura 438 (City)</div>
			B	19.12.24	PLAN AMENDMENTS - CA				<div>Job No:</div> <div>4809N</div> <div>Sheet Size:</div> <div>A2</div> <div>Sheet No:</div> <div>1 of 13</div>
			A	03.12.24	CONTRACT DRAWINGS - EZ				
	Rev	Date	Amendment						

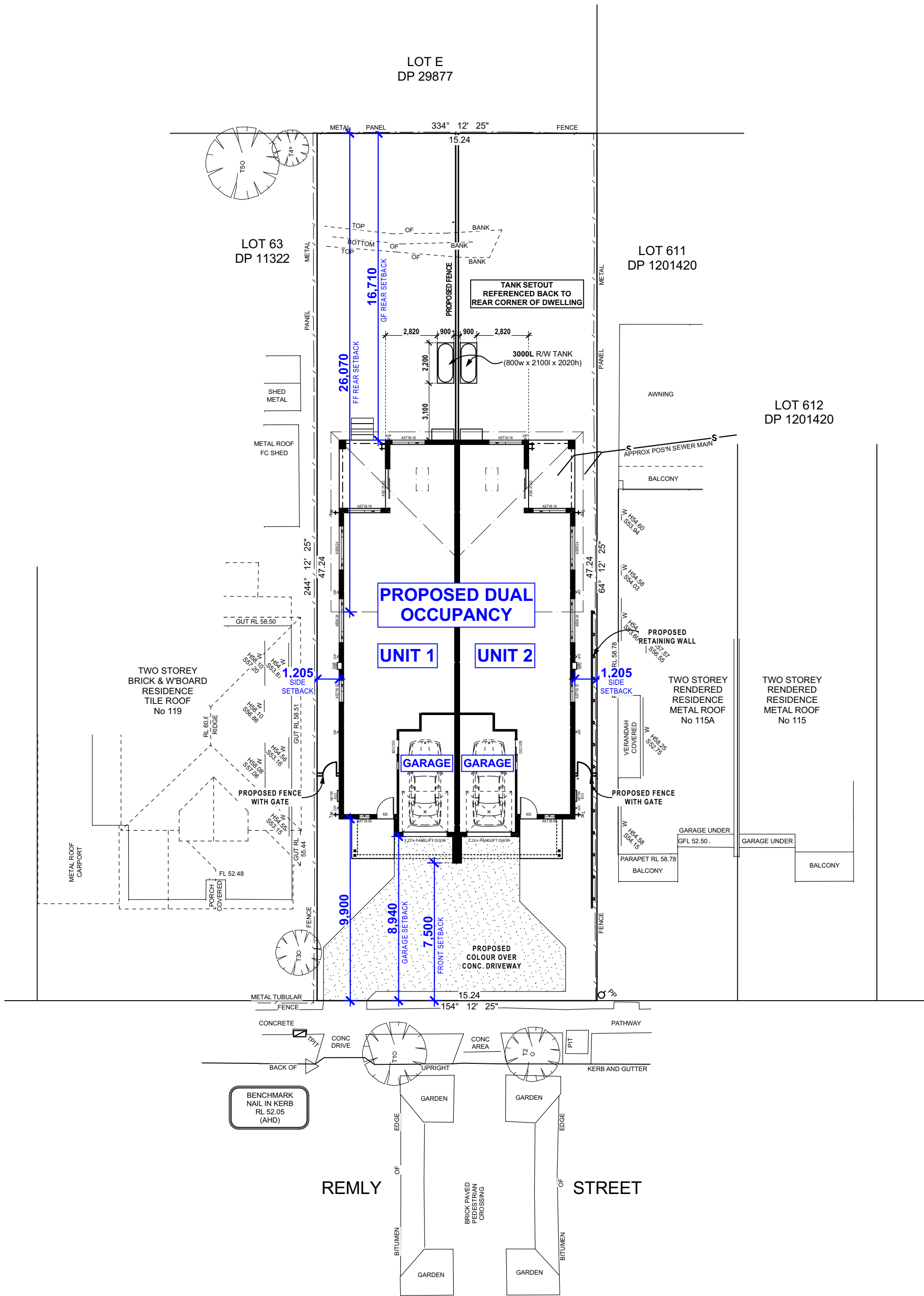
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719.9m²

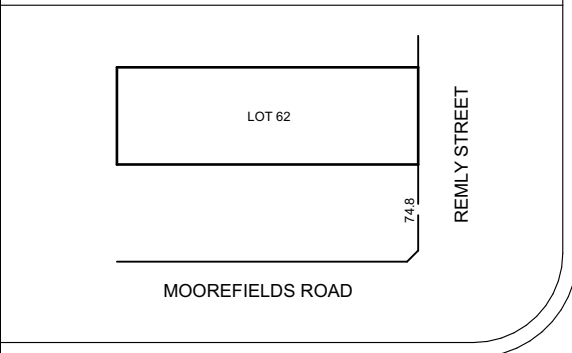
STORMWATER NOTE:

STORMWATER AS PER HYDRAULICS ENGINEER'S PLANS AND BASIX REQUIREMENTS ALL IN ACCORDANCE WITH AUSTRALIAN STANDARD 3500.3



Proposed Site Plan
Scale 1:200

LOCATION PLAN
(NOT TO SCALE)



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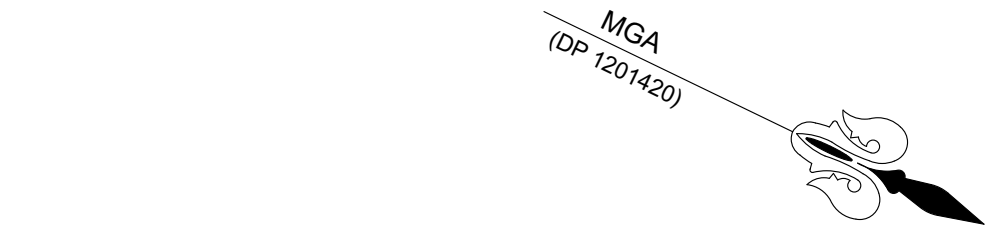
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Plot Date: Tuesday, 8 April 2025



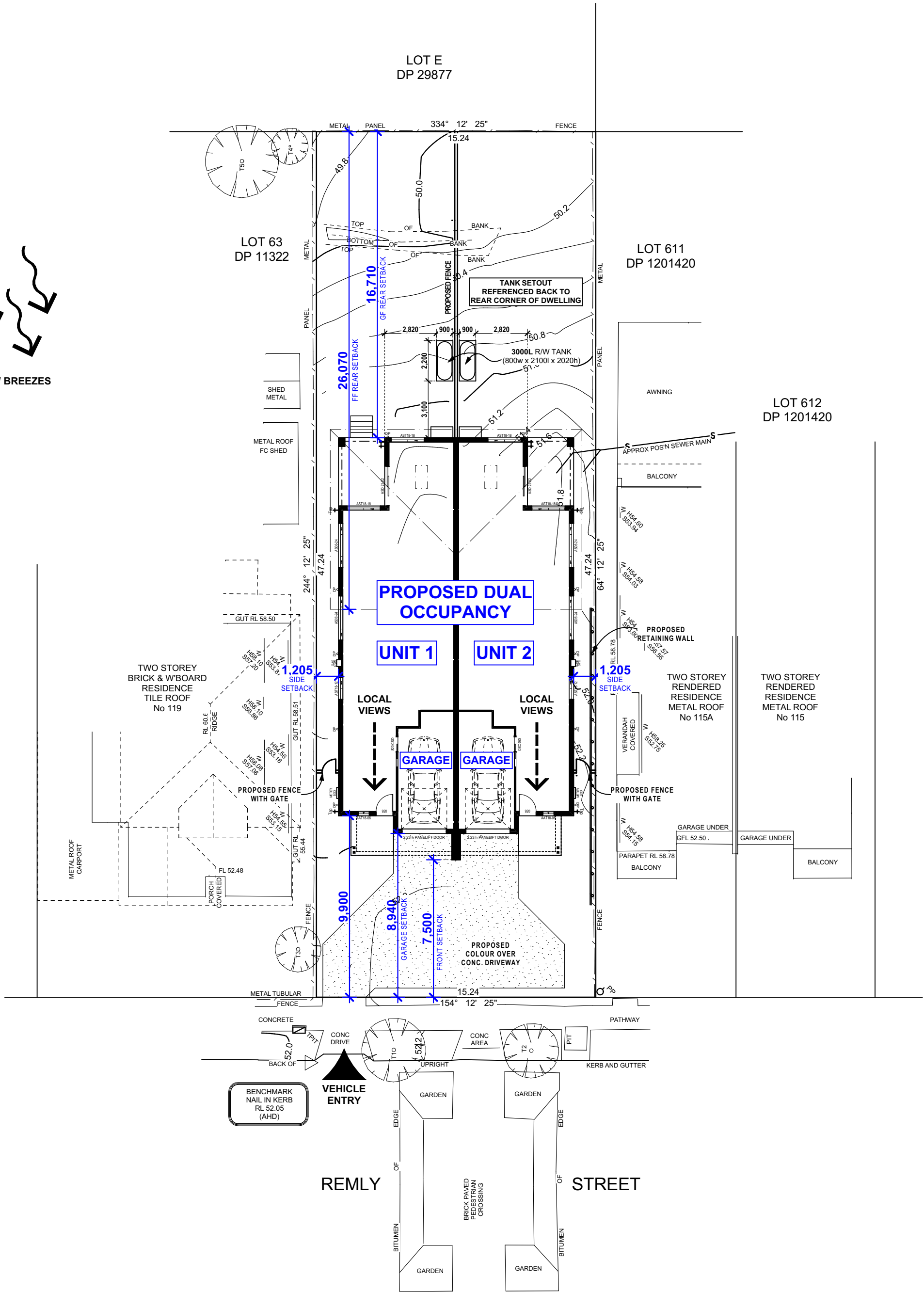
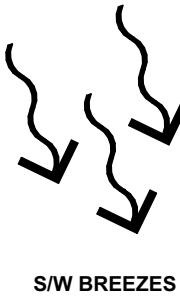
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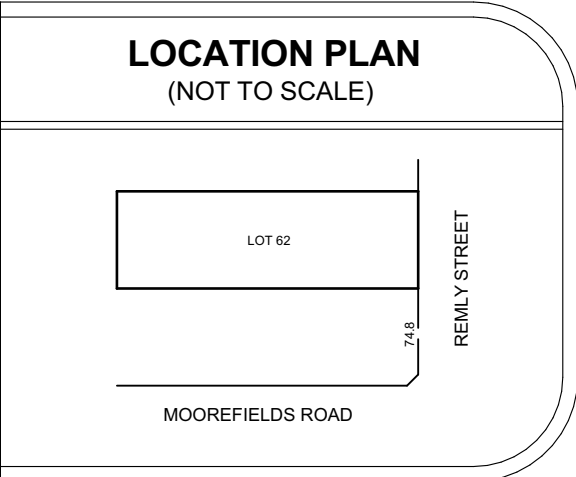
LOT 62
DP: 11322
719.9m²

CANTERBURY-BANKSTOWN REQUIREMENTS:
SITE AREA: 719.19m ²
PROPOSED SITE AREAS: ACHIEVED: UNIT 1 = 360m ² UNIT 2 = 360m ²
FLOOR SPACE RATIO: (Proposed Lots) UNIT 1 ALLOWED: 0.50:1 (180.0m ²) ACHIEVED: 0.48:1 (173.11m ²) UNIT 2 ALLOWED: 0.50:1 (180.0m ²) ACHIEVED: 0.48:1 (172.95m ²)
FLOOR SPACE RATIO: (Overall) ALLOWED: 0.50:1 (360.0m ²) ACHIEVED: 0.48:1 (346.06m ²)
PRIVATE OPEN SPACE: REQUIRED: 50m ² ACHIEVED: UNIT 1 = 113.78m ² UNIT 2 = 117.71m ²
DEEP SOIL AREA: REQUIRED: 25% (179.8m ²) ACHIEVED: 37% (266.98m ²)
CAR PARKING: REQUIRED: 2 Space per Dwelling ACHIEVED: 1 Space per Dwelling (NON-COMPLIANT)



Proposed Site Analysis Plan

Scale 1:200

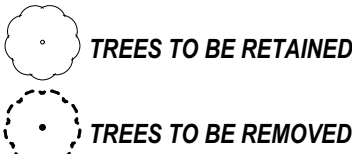


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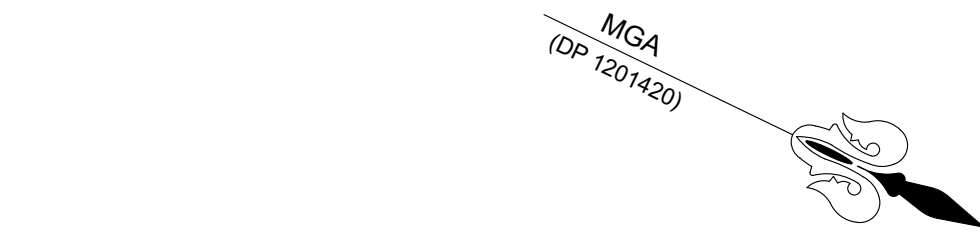
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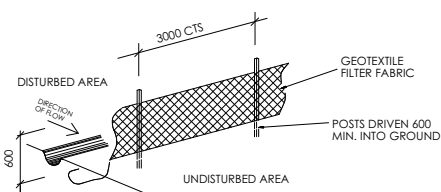
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<div><div><div>CHAMPION HOMES</div><div>Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171</div><div>Telephone: (02) 9825 8000 Fax: (02) 9825 8110</div><div>www.championhomes.com.au</div><div>Builders Licence No.92732C</div></div></div>	<div>NOT FOR CONSTRUCTION</div>	<div>Soil Classification:</div> <div>TBC</div>	<div></div>	<div></div>	<div></div>	<div>Copyright. ©</div> <div>This plan is the property of Champion Homes and may not be used in whole or part.</div> <div>Legal action will be taken against any person who infringes the copyright.</div>	<div>Proposed: Duplex Design</div>	<div>Client : Michael Panormitis Giakoumis & Karina Pamela Giakoumis</div>
		<div>Slab Classification:</div> <div>TBC</div>	<div></div>	<div></div>	<div></div>	<div>Lot:62 DP:11322</div> <div>No. 117 Remly Street</div> <div>Roselands, NSW 2196</div>	<div>LGA: Canterbury-Bankstown Council</div> <div>Date: 29.11.24</div>	
		<div>Wind Speed Class:</div> <div>TBC</div>	<div>C 08.04.25</div> <div>B 19.12.24</div> <div>A 03.12.24</div> <div>Rev Date Amendment</div>	<div>BASIX INFO, ADDED & DA PLANS - CA</div> <div>PLAN AMENDMENTS - CA</div> <div>CONTRACT DRAWINGS - EZ</div> <div></div>		<div>Design :Modified Leura 438 (City)</div>		
						<div>Job No: 4809N</div>	<div>Sheet Size: A2</div>	<div>Sheet No: 3 of 13</div>

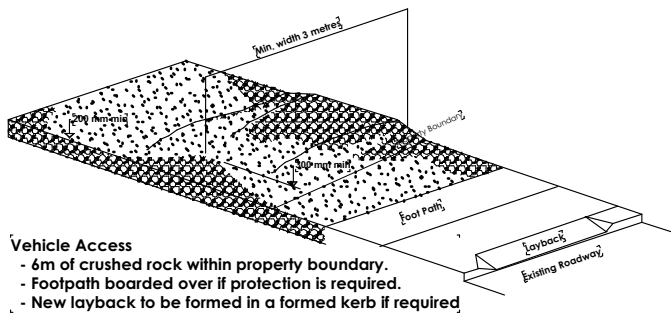
NOTE:
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.
FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.
WHERE RETAINING WALLS ARE REQUIRED TO CONTAIN FILL, THE BUILDER MAY USE DEEPENED EDGE BEAMS TO SLABS INSTEAD.



LOT 62
DP: 11322
719.9m²

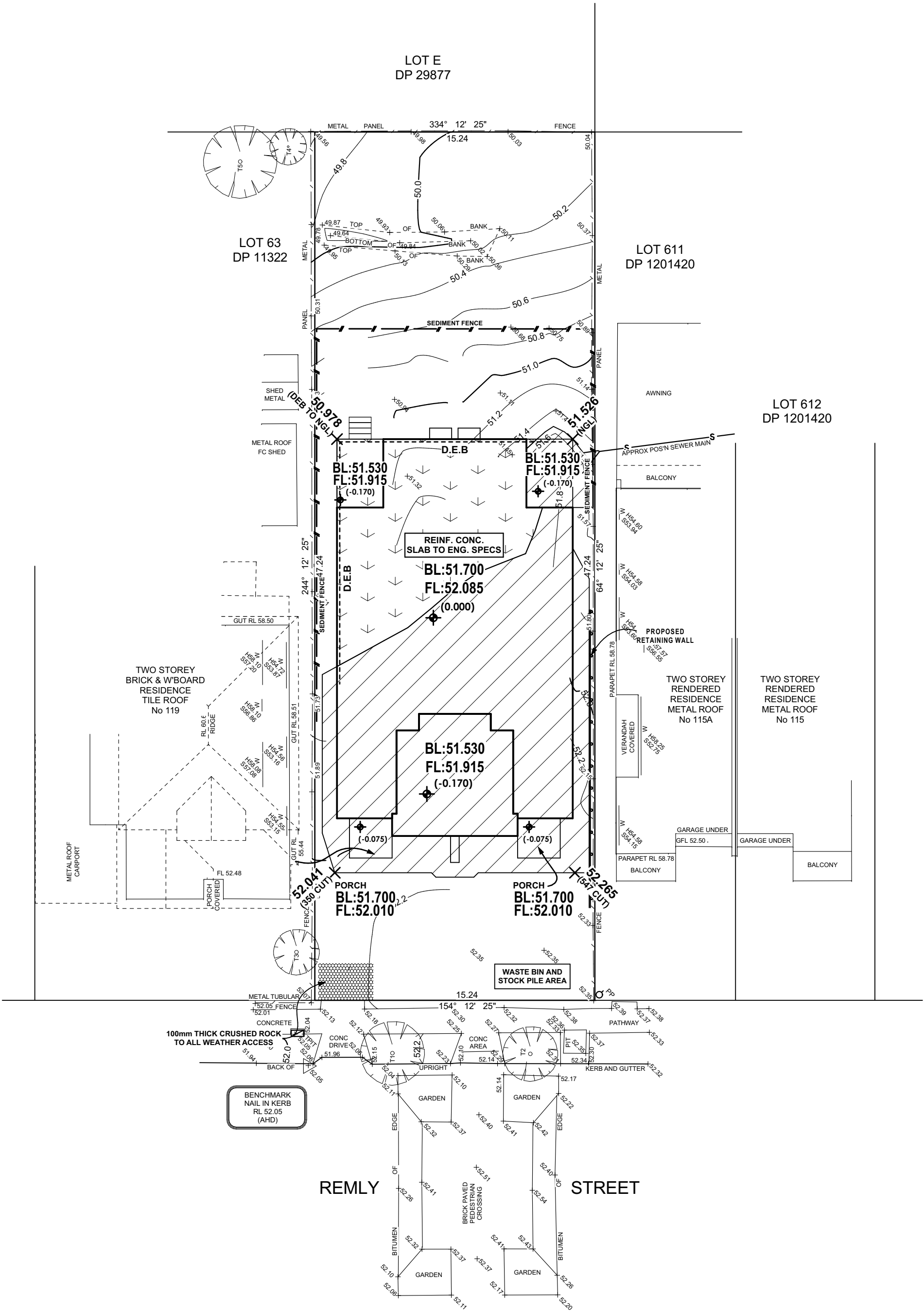


SEDIMENT CONTROL FENCE



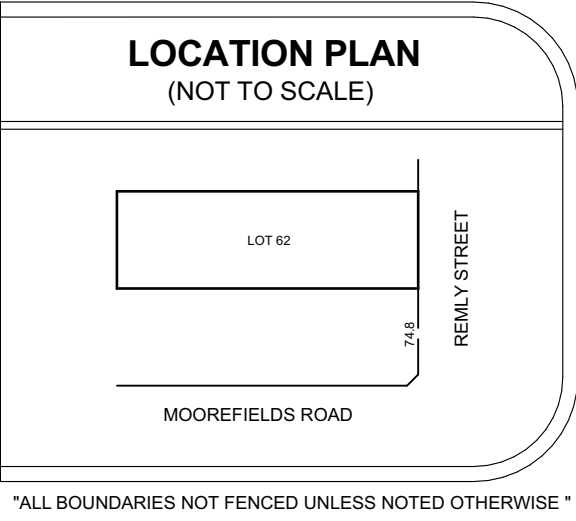
Vehicle Access
- 6m of crushed rock within property boundary.
- Footpath boarded over if protection is required.
- New layback to be formed in a formed kerb if required.

SITE PLAN
ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS, REMAIN AT THE DISCRETION OF THE BUILDER.



Erosion & Sediment Control Plan

Scale 1:200

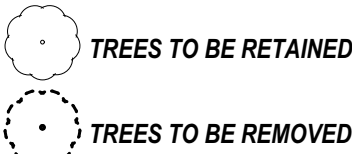


"ALL BOUNDARIES NOT FENCED UNLESS NOTED OTHERWISE"

NOTE:
THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017 AND IS ACCURATE TO ABOUT ±0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY. A DETAIL & LEVEL SURVEY IS A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS. PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES. ONLY VISIBLE SERVICES HAVE BEEN LOCATED BY THIS SURVEY. OTHER SERVICES MAY EXIST. CONFIRMATION OF THE EXACT LOCATION AND NATURE OF ANY SERVICES SHOULD BE CONFIRMED PRIOR TO ANY CONSTRUCTION WORK. RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m. CONTOURS SHOWN ON THIS PLAN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY. DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE. SETBACKS SHOWN ARE APPROXIMATE. THEY HAVE BEEN DERIVED FOR PLANNING PURPOSES ONLY.

LEGEND OF COMMONLY USED SYMBOLS	
WATER	-----
SEWER	-----
ELECTRICITY	-----
TELECOM	-----
GAS	-----
DRAINAGE	-----

TREE SCHEDULE (APPROX)			
No.	DIAMETER	SPREAD	HEIGHT
T1	0.2	3.5	5
T2	0.2	3	5
T3	0.2	2.5	4
T4	0.1	2	3.5
T5	0.2	4	4



LEGEND			
BENCH MARK	△	STOP VALVE	SV
TELSTRA PIT	TPIT	WATER HYDRANT	HYD
ELECTRIC LIGHT POLE	LP	WATER METER	WM
POWER POLE	PP	TAP	TAP
SIGN POST	SP	GAS METER	GAS
SEWER INSPECTION PIT	SIP	ELECTRICAL PIT	EPIT
SEWER VENT	SV	ELECTRICAL BOX	EBOX
SEWER MANHOLE	SMH	STATE SURVEY MARK	SSM
MANHOLE	MH		
KO - KERB OUTLET	FL - FLOOR LEVEL		
H - HEAD OF WINDOW	D0.4/S10/H16 - TREE		
S - WINDOW SILL	DIAMETER/SPREAD/HEIGHT		
* - SETBACKS SHOWN ARE APPROXIMATE. THEY HAVE BEEN DERIVED FOR PLANNING PURPOSES ONLY.			

Plot Date: Tuesday, 8 April 2025



CHAMPION HOMES
Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171
Telephone: (02) 9825 8000 Fax: (02) 9825 8110
www.championhomes.com.au
Builders Licence No.92732C

NOT FOR CONSTRUCTION

Soil Classification:
TBC

Slab Classification:
TBC

Wind Speed Class:
TBC

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Proposed: Duplex Design

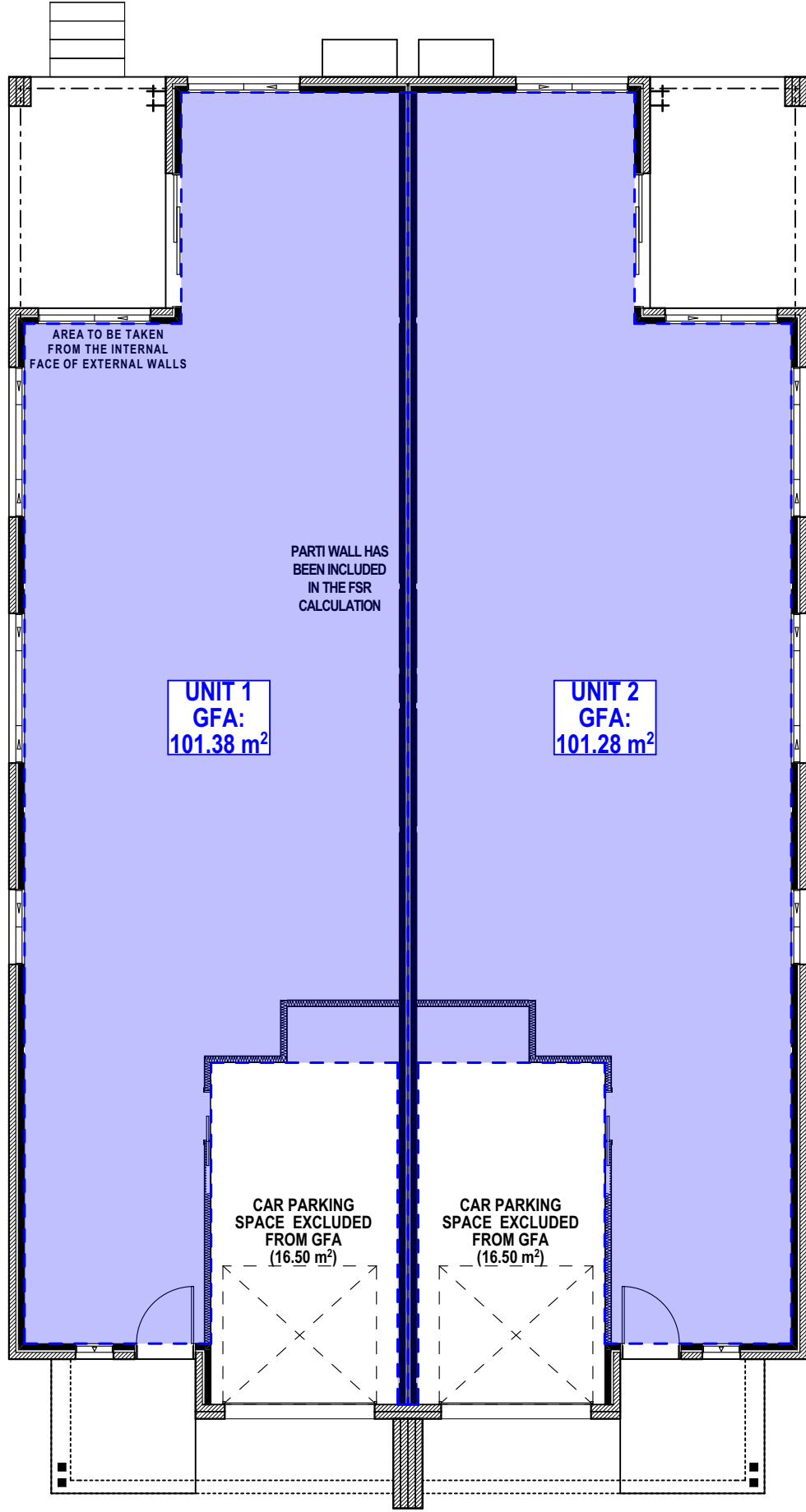
Lot:62 DP:11322
No. 117 Remly Street
Roselands, NSW 2196

Client :
Michael Panormitis Giakoumis & Karina Pamela Giakoumis

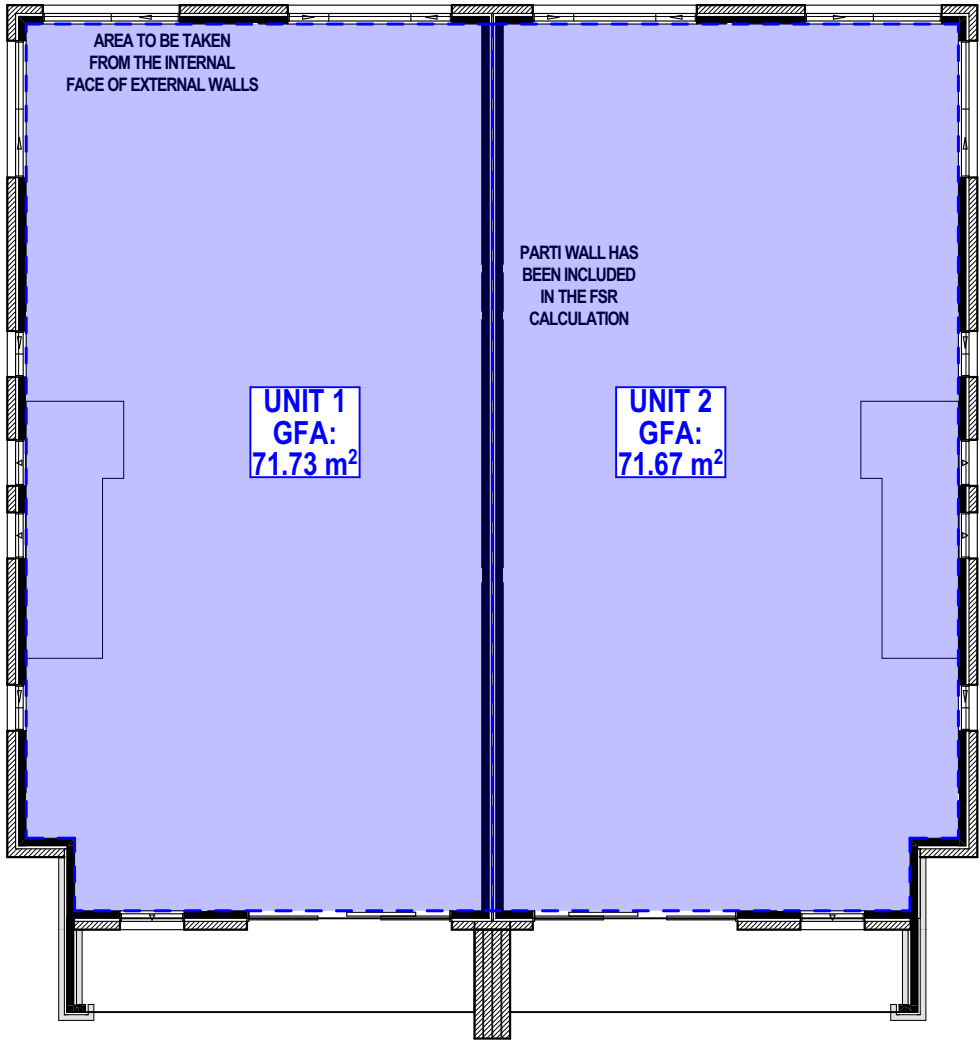
LGA: Canterbury-Bankstown Council **Date:** 29.11.24

Design : Modified Leura 438 (City)

Job No: 4809N **Sheet Size: A2** **Sheet No: 4 of 13**



FSR Ground Floor Plan
Scale 1:100



FSR First Floor Plan
Scale 1:100

Floor Area Calculations

Scale: 1:100

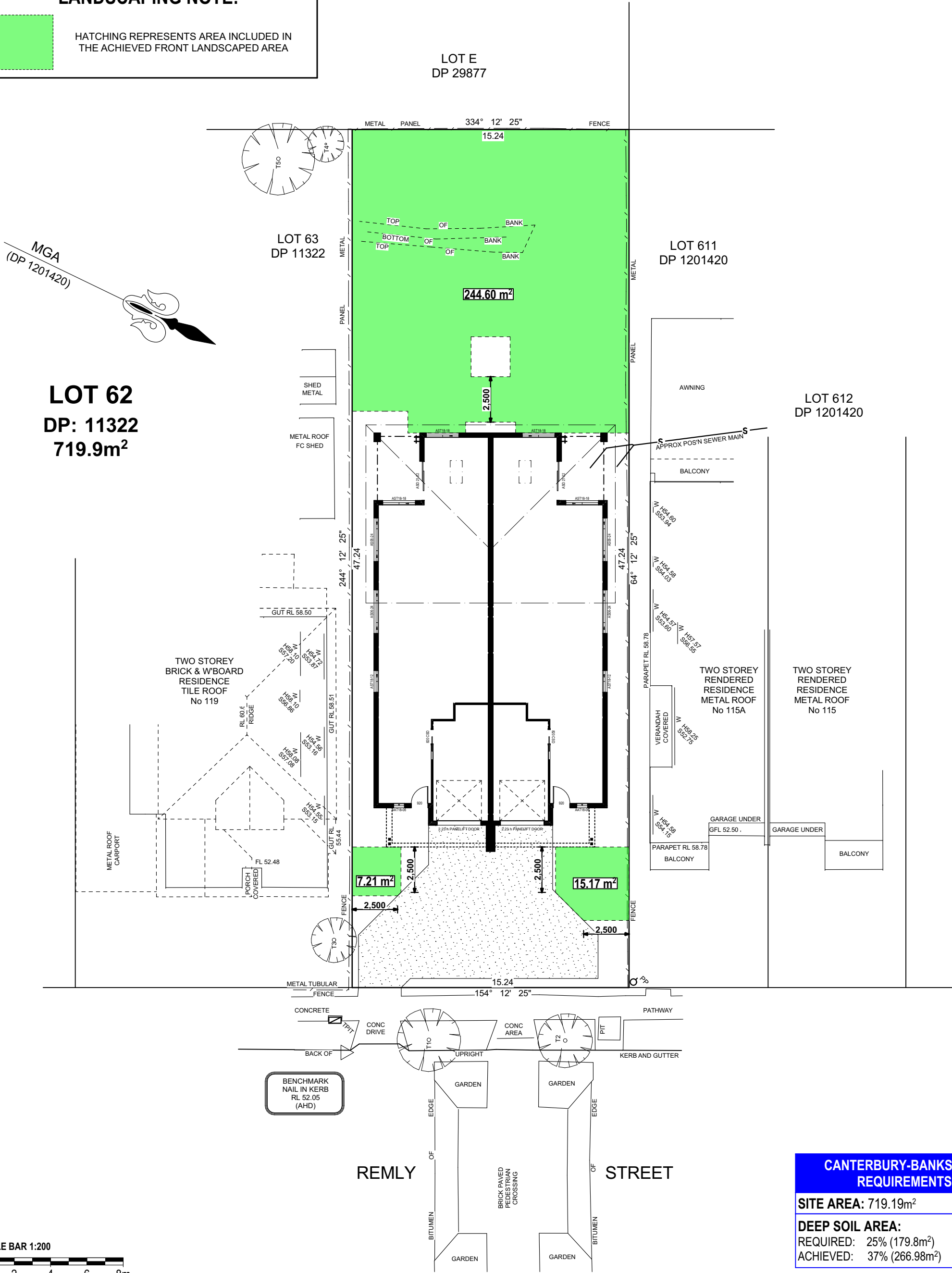
CANTERBURY-BANKSTOWN REQUIREMENTS:
SITE AREA: 719.19m ²
PROPOSED SITE AREAS: ACHIEVED: UNIT 1 = 360m ² UNIT 2 = 360m ²
FLOOR SPACE RATIO: (Proposed Lots) UNIT 1 ALLOWED: 0.50:1 (180.0m ²) ACHIEVED: 0.48:1 (173.11m ²) UNIT 2 ALLOWED: 0.50:1 (180.0m ²) ACHIEVED: 0.48:1 (172.95m ²)
FLOOR SPACE RATIO: (Overall) ALLOWED: 0.50:1 (360.0m ²) ACHIEVED: 0.48:1 (346.06m ²)

LANDSCAPING NOTE:

HATCHING REPRESENTS AREA INCLUDED IN THE ACHIEVED FRONT LANDSCAPED AREA

Landscape Area Calculations

Scale 1:200



Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

Certificate No. 0011792810

Assessor name Thomas Ruck
Accreditation No. DMN/20/1999
Property Address 117 Remly Street, ROSELANDS NSW 2196

QR Code

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Soil Classification:	TBC		
Slab Classification:	TBC		
Wind Speed Class:	TBC	C	08.04.25
		B	19.12.24
		A	03.12.24
		Rev	Date
			Amendment
		BASIX INFO. ADDED & DA PLANS - CA	
		PLAN AMENDMENTS - CA	
		CONTRACT DRAWINGS - EZ	

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Proposed: Duplex Design

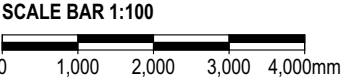
Lot:62 DP:11322
No. 117 Remly Street
Roselands, NSW 2196

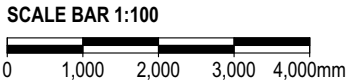
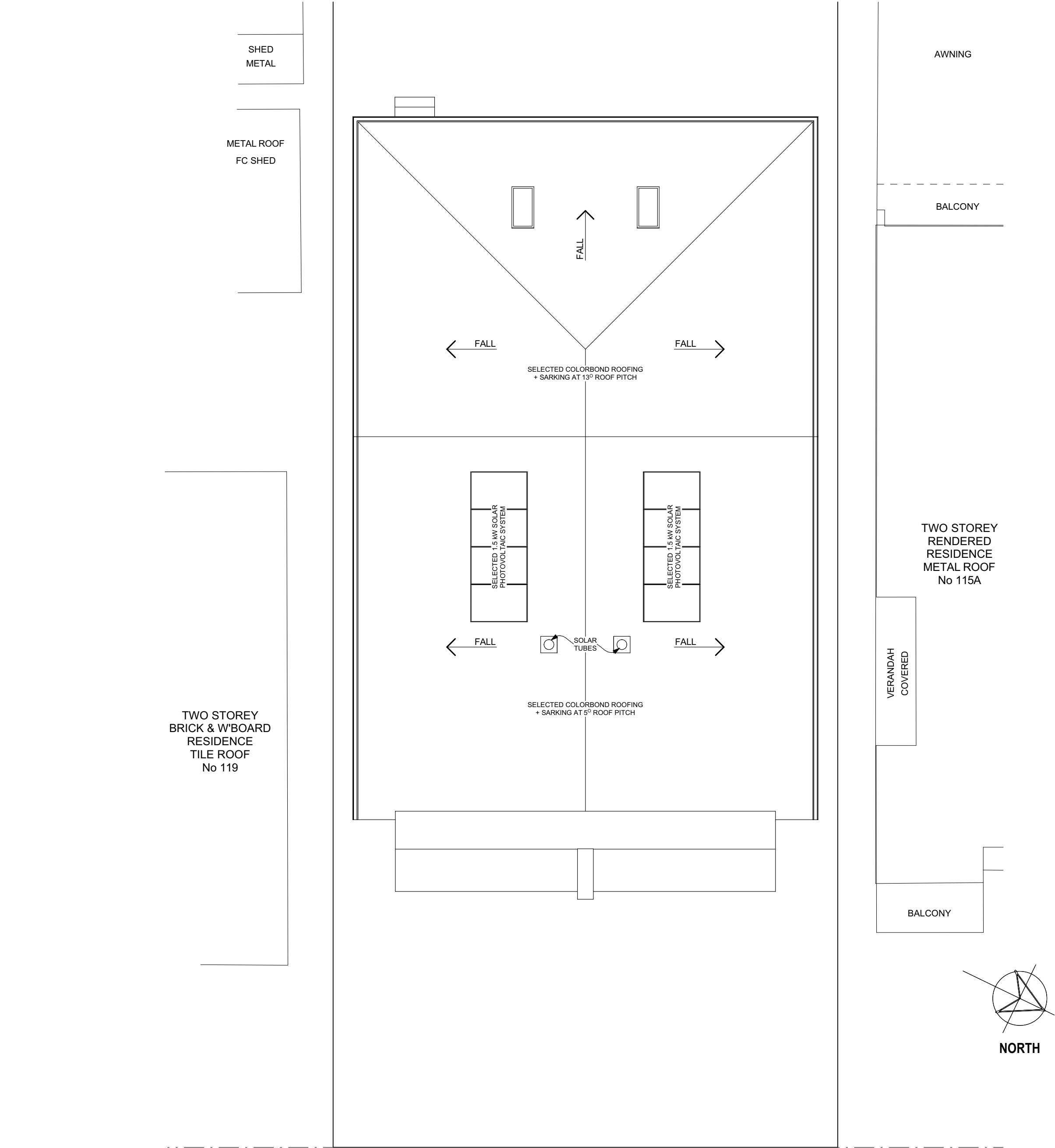
Client :
Michael Panormitis Giakoumis & Karina Pamela Giakoumis

LGA: Canterbury-Bankstown Council Date: 29.11.24

Design :**Modified Leura 438 (City)**

Job No: **4809N** Sheet Size: A2 Sheet No: 5 of 13





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NOT FOR CONSTRUCTION

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Wind Speed Class:	TBC		
Rev	Date	Amendment	
C	08.04.25	BASIX INFO, ADDED & DA PLANS - CA	
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A	03.12.24	CONTRACT DRAWINGS - EZ	

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Proposed: Duplex Design

Lot:62 DP:11322
No. 117 Remly Street
Roselands, NSW 2196

Client : Michael Panormitis Giakoumis & Karina Pamela Giakoumis		
LGA: Canterbury-Bankstown Council		Date: 29.11.24
Design : Modified Leura 438 (City)		
Job No: 4809N	Sheet Size: A2	Sheet No: 6 of 13

Roof Plan

Scale 1:100

BASIX COMMITMENTS NOTES				
117 Remly St Roselands *REFER TO APPROVED BASIX REPORT* BASIX Cert # 1787858M				
WATER				
	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Fixtures	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	4 star
Alternative water source	Individual rainwater tanks to collect run off from at least 100 m ² of roof area from each dwelling - Tank size min 3000 litres The applicant must connect the rainwater tank to:			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	-	-
ENERGY	Hot water system: Gas Instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed			
	Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
	Alternative energy: Each dwelling must install a photovoltaic system with the capacity to generate at least 1.5 peak kilowatts of electricity. Must install a gas cooktop and electric oven. Must install fixed outdoor clothes drying line as part of the development.			

Basix Requirements

(Minimum Requirements)

Certificate No. 0011792810

Assessor name: Thomas Ruck
Accreditation No: DMN/20/1999
Property Address: 117 Remly Street, ROSELANDS NSW 2196
117 Remly Street, ROSELANDS NSW 2196

117 Remly Street, ROSELANDS NSW 2196

117 Remly Street, ROSELANDS NSW 2196

NatHERS - THERMAL COMFORT SUMMARY			
Address: Unit 1, 117 Remly Street Roselands 2193			
Building Elements		Material	Detail
External walls		Brick Veneer – Medium colour 75mm Polystyrene	R2.5HD bulk insulation (<i>excluding garage</i>)
Internal walls		Plasterboard on studs	R2.5HD bulk insulation to walls adjacent to Garage, Laundry and WC
Common walls between dwellings		Shaftliner or the like	R2.0 bulk insulation
Ceiling		Plasterboard	<ul style="list-style-type: none">R6.0 bulk insulation to ceilings with roof aboveR6.0 bulk insulation between Garage and floor above
Floors		Concrete – ground floor Timber – first floor	Waffle Pod (dwelling 225mm; garage 175mm) R6.0 bulk insulation to suspended floor to outside air
Roof		Metal Roof – Dark Colour	Builders Blanket – Foil + R1.3 to underside of metal roof
Skylights		Double glazed clear Solar tube	U value 4.20 or less and SHGC 0.72 +/- 5%
Doors/Windows			
WID-104-026	Aluminium frame, double glazed	U value 2.73 or less and SHGC 0.51	Sliding doors
WID-102-028	Aluminium frame, double glazed	U value 3.12 or less and SHGC 0.47	Sliding windows – excluding wet areas
WID-101-012	Aluminium frame, double glazed	U value 3.17 or less and SHGC 0.45	Awning windows - excluding wet areas
ALM-002-01	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 +/-5%	Sliding windows – wet areas only
U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 5% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire and acoustic regulations.			
Lighting: This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.			
Note: Insulation specified must be installed in accordance with the BCA Volume Two.			
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			
Note: Self-closing damper to Bath, Ensuite, Laundry and PDR exhaust fans.			
Note: Additional insulation may be required to meet acoustic requirements			
Note: If metal frames are used, a revised assessment is required			

NatHERS - THERMAL COMFORT SUMMARY			
Address: Unit 2, 117 Remly Street Roselands 2193			
Building Elements		Material	Detail
External walls		Brick Veneer – Medium colour 75mm Polystyrene	R2.5HD bulk insulation (<i>excluding garage</i>)
Internal walls		Plasterboard on studs	R2.5HD bulk insulation to walls adjacent to Garage, Laundry and WC
Common walls between dwellings		Shaftliner or the like	R2.0 bulk insulation
Ceiling		Plasterboard	<ul style="list-style-type: none">R6.0 bulk insulation to ceilings with roof aboveR6.0 bulk insulation between Garage and floor above
Floors		Concrete – ground floor Timber – first floor	Waffle Pod (dwelling 225mm; garage 175mm) R6.0 bulk insulation to suspended floor to outside air
Roof		Metal Roof – Dark Colour	Builders Blanket – Foil + R1.3 to underside of metal roof
Skylights		Double glazed clear Solar tube	U value 4.20 or less and SHGC 0.72 +/- 5%
Doors/Windows			
WID-104-026	Aluminium frame, double glazed	U value 2.73 or less and SHGC 0.51	Sliding doors
WID-102-028	Aluminium frame, double glazed	U value 3.12 or less and SHGC 0.47	Sliding windows – excluding wet areas
WID-101-024	Aluminium frame, single glazed comfort plus	U value 4.79 or less and SHGC 0.53	Awning windows - excluding wet areas
ALM-002-01	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 +/-5%	Sliding windows – wet areas only
U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 5% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire and acoustic regulations.			
Lighting: This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.			
Note: Insulation specified must be installed in accordance with the BCA Volume Two.			
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			
Note: Self-closing damper to Bath, Ensuite, Laundry and PDR exhaust fans.			
Note: Additional insulation may be required to meet acoustic requirements			
Note: If metal frames are used, a revised assessment is required			

Plot Date: Tuesday, 8 April 2025

Ground Floor Plan

Scale 1:100

NOTE: THE BUILDER RESERVES THE RIGHT TO CONSTRUCT OR INSTALL ADJUSTS TO THE BUILDING PLANS AS A RESULT OF THE BUILDERS TENDER, AMENDMENTS OR VARIATIONS.

PROVIDE TERMITE TREATED FRAMES TO DUPLEX

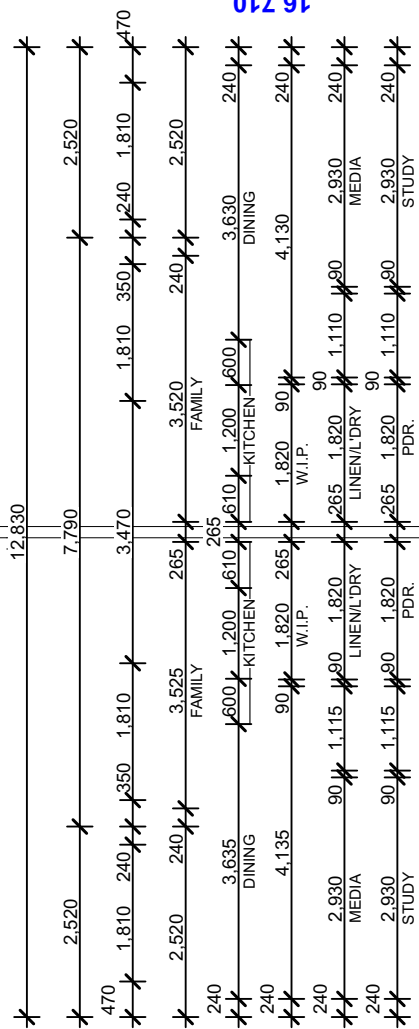
PROVIDE UPGRADED GLAZING AS PER BASIC REQUIREMENTS

WINDOW NOTE: BOTH UNITS
ALL WINDOW OPENING DIMENSIONS ARE TO THE ALUMINIUM FRAME (UNLESS OTHERWISE NOTED)

NOTE BOTH UNITS
PROVIDE ANTON MESH FLYSCREENS TO ALL OPENABLE WINDOWS & ALUMINIUM DOORS

NOTE BOTH UNITS
PROVIDE CORNICE HEIGHT TILING TO PDR

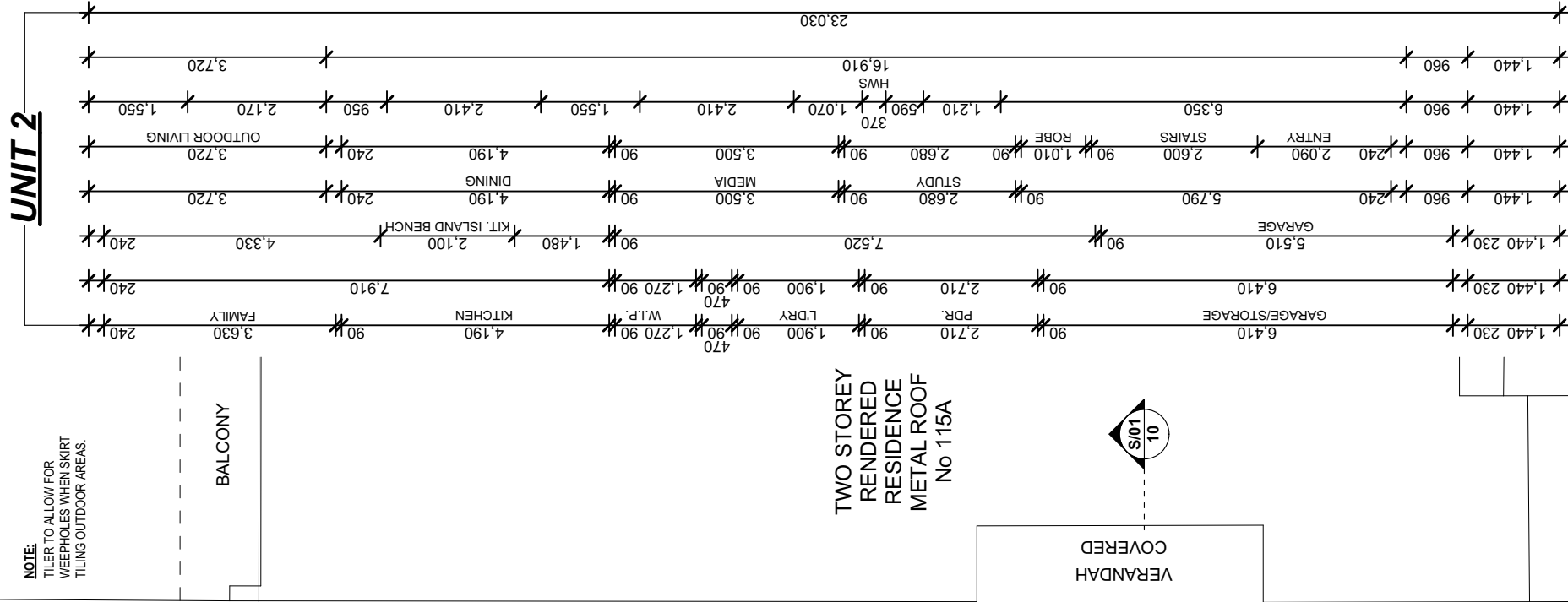
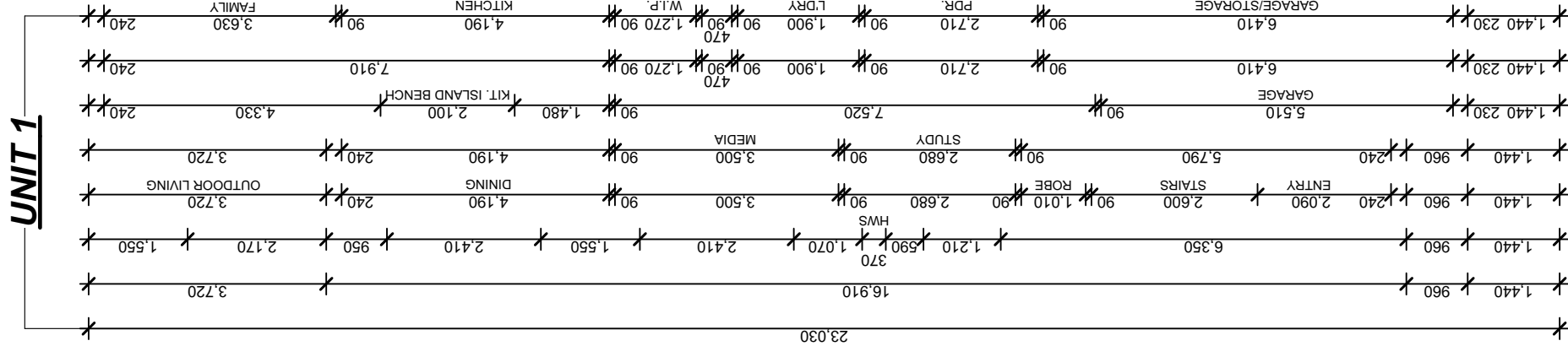
ROOM AREAS NOTE:
ROOM AREAS SHOWN ON FLOOR PLANS ARE FOR COUNCIL PURPOSES ONLY



- KITCHEN NOTE: BOTH UNITS**
NOTWITHSTANDING THE CONTRACTOR SHALL OBTAIN THE CONTRACT OR TENDER. THE OWNER ACKNOWLEDGES AND AGREES THAT THE KITCHEN TO BE SUPPLIED AND INSTALLED SHALL BE IN ACCORDANCE WITH THE KITCHEN MANUFACTURER'S DETAIL
- KITCHEN NOTES: BOTH UNITS**
- PROVIDE 40mm CAESARSTONE MINERAL BENCHTOP
- PROVIDE 600mm HIGH SPASHBACK
- PROVIDE 600mm HIGH OVERHEAD CURBOARDS
- PROVIDE BULKHEADS TO OVERHEAD CURBOARDS
- LAUNDRY NOTES: BOTH UNITS**
- PROVIDE 20mm CAESARSTONE MINERAL BENCHTOP
- PROVIDE 600mm HIGH SPASHBACK
- PROVIDE 600mm HIGH OVERHEAD CURBOARDS
- NOTE: BOTH UNITS**
CONDUIT FOR ISLAND BENCH TO RUN BENEATH SLAB SURFACE

SHED METAL

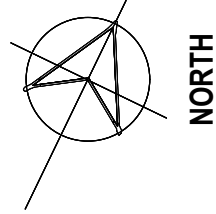
METAL ROOF FC SHED



ROOF AREA (m2)	
Pitch	Horizontal Area
5.00°	155.98
13.00°	133.04

Unit 1 Areas	
Area Name	Area m2
BALCONY	6.22
GARAGE	20.26
GROUND FLOOR	106.01
OUTDOOR LIVING	9.37
PORCH	5.01
UPPER FLOOR	77.73
	224.45 m²

Unit 2 Areas	
Area Name	Area m2
BALCONY	6.21
GARAGE	20.26
GROUND FLOOR	105.93
OUTDOOR LIVING	9.37
PORCH	5.01
UPPER FLOOR	77.67
	224.45 m²



NOTE:
TILER TO ALLOW FOR
WEEPHOLES WHEN SKIRT
TILING OUTDOOR AREAS.

SCALE BAR 1:100



Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

REMLY

STREET

CHAMPION HOMES

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Soil Classification:	TBC
Slab Classification:	TBC
Wind Speed Class:	TBC

Rev	Date	Amendment
C	05/04/25	BASIC INFO. ADDED & DA PLANS - CA
B	19/12/24	PLAN AMENDMENTS - CA
A	03/12/24	CONTRACT DRAWINGS - EZ

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Proposed: Duplex Design

Lot:62 DP:1322
No. 117 Remly Street
Roselands, NSW 2196

Client :
Michael Panormitis Giakoumis & Karina Pamela Giakoumis

LGA: Canterbury-Bankstown Council
Date: 29.11.24

Design : Modified Leura 438 (City)

Job No: 4809N **Sheet Size:** A2 **Sheet No:** 7 of 13

Plot Date: Tuesday, 8 April 2025

Certificate No. 0011792810
Scan QR code or follow website link for rating details.

Assessor name: Thomas Ruck
Accreditation No.: DNM/2011999

Property Address: 117 Remly Street, ROSELANDS NSW 2196
Real estate agent: aul@championhomes.com.au

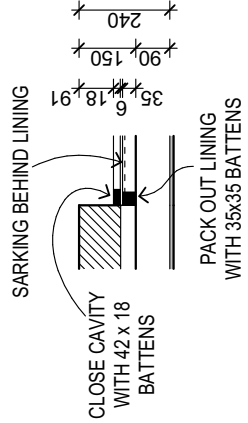
First Floor Plan

Scale 1:100

NOTE:
THE BUILDER RESERVES THE RIGHT TO CONSTRUCT OR INSTALL ADJUSTS
THE BUILDING OR STRUCTURE OR ANY PART THEREOF OR ANY PART THEREOF DURING
CONSTRUCTION OR AS A RESULT OF THE BUILDERS WORK METHODS
ITEMS OR SERVICES OR MATERIALS SHOWN ON THE BUILDING PLANS
SHOULD BE CONSIDERED AS APPROXIMATE AND NOT TO BE USED AS A BASIS
INCLUDED IN THE BUILDERS TENDER AMENDMENTS OR VARIATIONS

PROVIDE TERMITE TREATED FRAMES TO DUPLEX
PROVIDE UPGRADED GLAZING AS PER BASIX REQUIREMENTS
WINDOW NOTE: BOTH UNITS ALL WINDOW OPENING DIMENSIONS ARE TO THE ALUMINIUM FRAME (UNLESS OTHERWISE NOTED)
NOTE: BOTH UNITS PROVIDE ANTI LON MESH CAESARSTONE MINERAL VANITY TOP TO BATH & ENS.
NOTE: BOTH UNITS PROVIDE CORNICE HEIGHT TILING TO BATH, ENS. & W.C.
SHOWER NICHE NOTE: BATH & ENS. SHOWERS TO A 500w / 350h NICHE HH: 1550 SH: 1200
ROOM AREAS NOTE: ROOM AREAS SHOWN ON FLOOR PLANS ARE FOR GENERAL PURPOSES ONLY

NOTE: CARPENTER TO REFER
TO WET AREAS LAYOUT
PAGE FOR FLOOR DRAINAGE
POSITIONS WHEN
POSITIONING FLOOR JOISTS



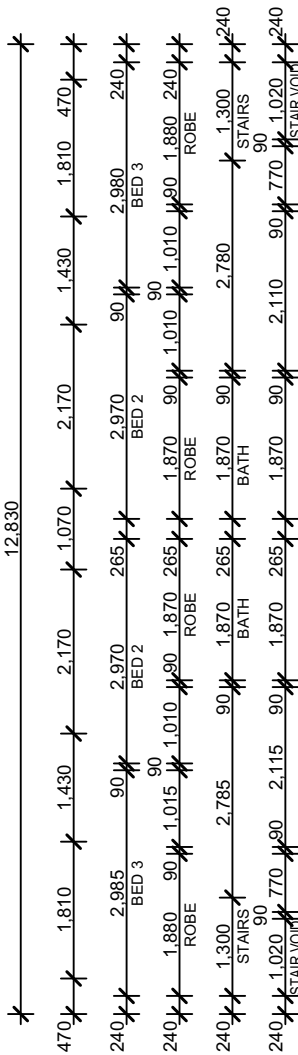
AWNING

BALCONY

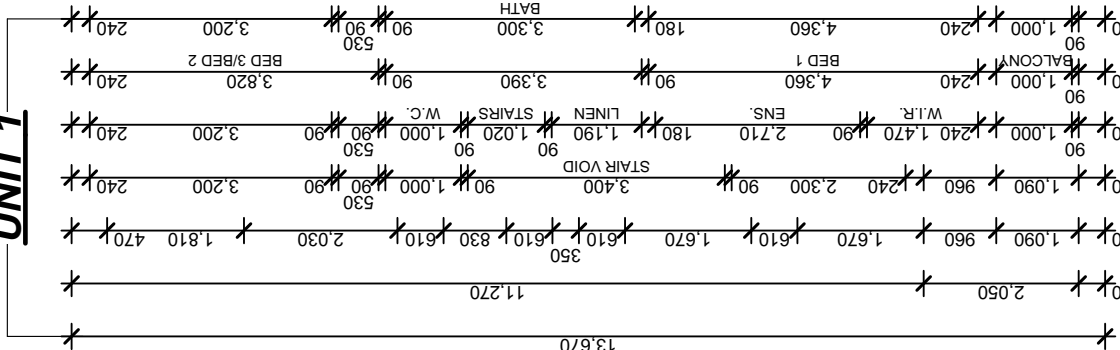
METAL ROOF
FC SHED

SHED
METAL

26.070



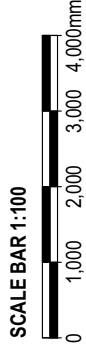
UNIT 1



ROOF AREA (m²)	
Pitch	Horizontal Area
5.00°	155.96
13.00°	133.04

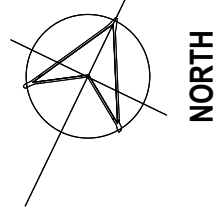
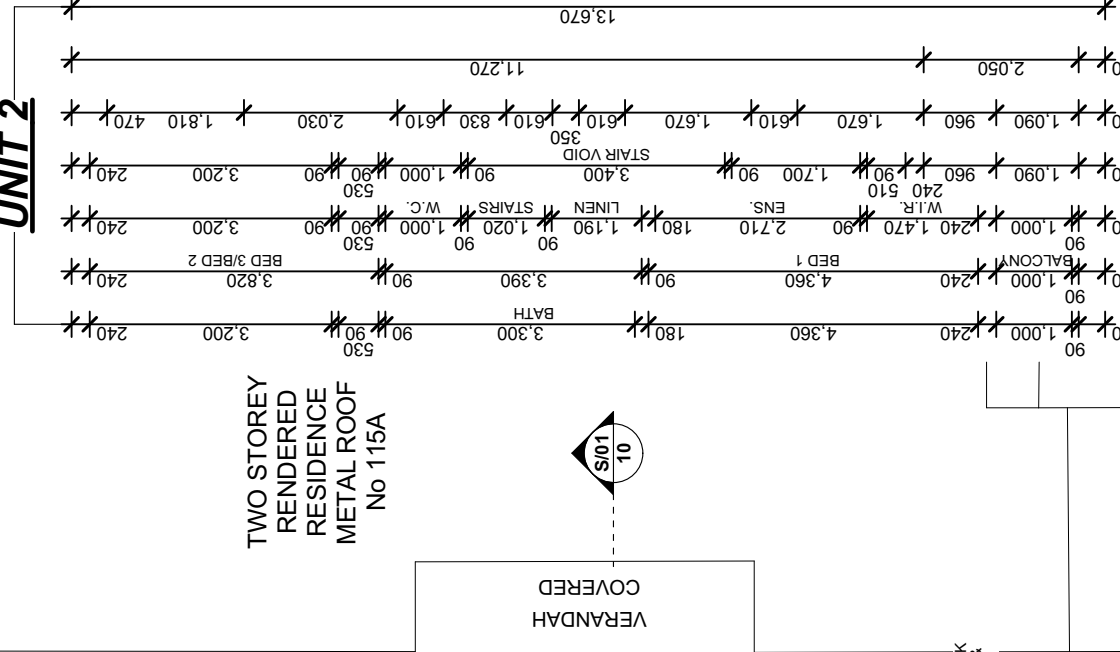
Unit 1 Areas	
Area Name	Area m²
BALCONY	6.22
GARAGE	20.28
GROUND FLOOR	106.01
OUTDOOR LIVING	9.37
PORCH	5.01
UPPER FLOOR	77.73
	224.63 m²

Unit 2 Areas	
Area Name	Area m²
BALCONY	6.21
GARAGE	20.26
GROUND FLOOR	105.93
OUTDOOR LIVING	9.37
PORCH	5.01
UPPER FLOOR	77.67
	224.45 m²



Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

UNIT 2



7.740

7.500

1.205

1.205

1.205

1.205

TWO STOREY
BRICK & W/BOARD
RESIDENCE
TILE ROOF
No 119

TWO STOREY
RENDERED
RESIDENCE
METAL ROOF
No 115A



REMLY

STREET



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NOT FOR
CONSTRUCTION

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

Soil Classification:	TBC
Slab Classification:	TBC
Wind Speed Class:	TBC

Rev	Date	Amendment
C	06.04.25	BASIX INFO. ADDED & DA PLANS - CA
B	19.12.24	PLAN AMENDMENTS - CA
A	03.12.24	CONTRACT DRAWINGS - EZ

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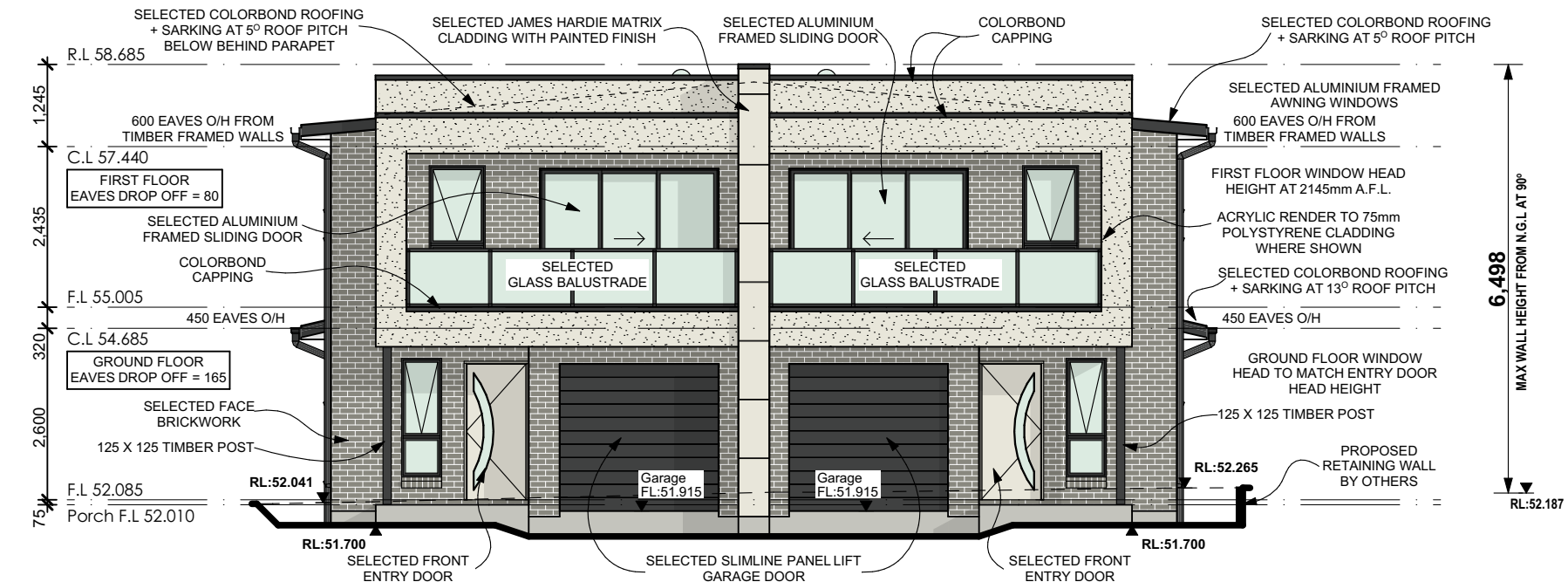
Proposed: Duplex Design
Lot:62 DP:11322
No. 117 Remly Street
Roselands, NSW 2196

Client :	Michael Panormitis Giakoumis & Karina Pamela Giakoumis
LGA:	Canterbury-Bankstown Council
Date:	29.11.24
Design :	Modified Leura 438 (City)
Job No:	4809N
Sheet Size:	A2
Sheet No:	8 of 13

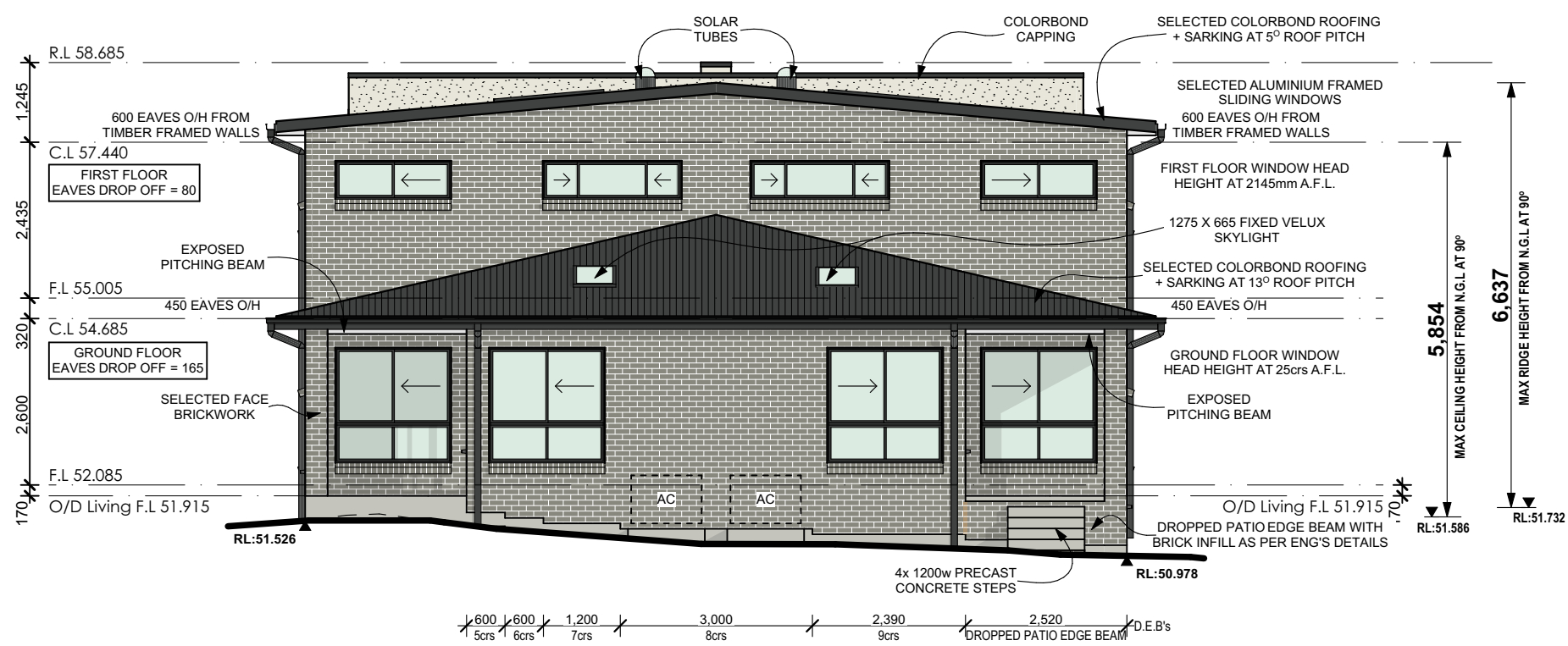
Plot Date: Tuesday, 8 April 2025



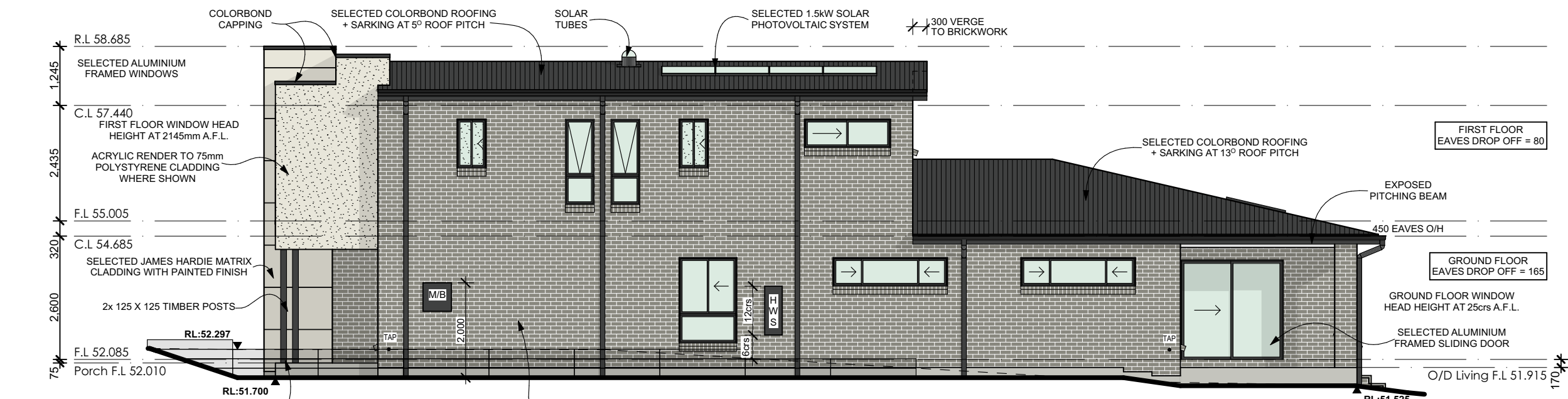
PROTECTION OF OPENABLE WINDOWS AS PER NCC 2022 (11.3.7)
A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



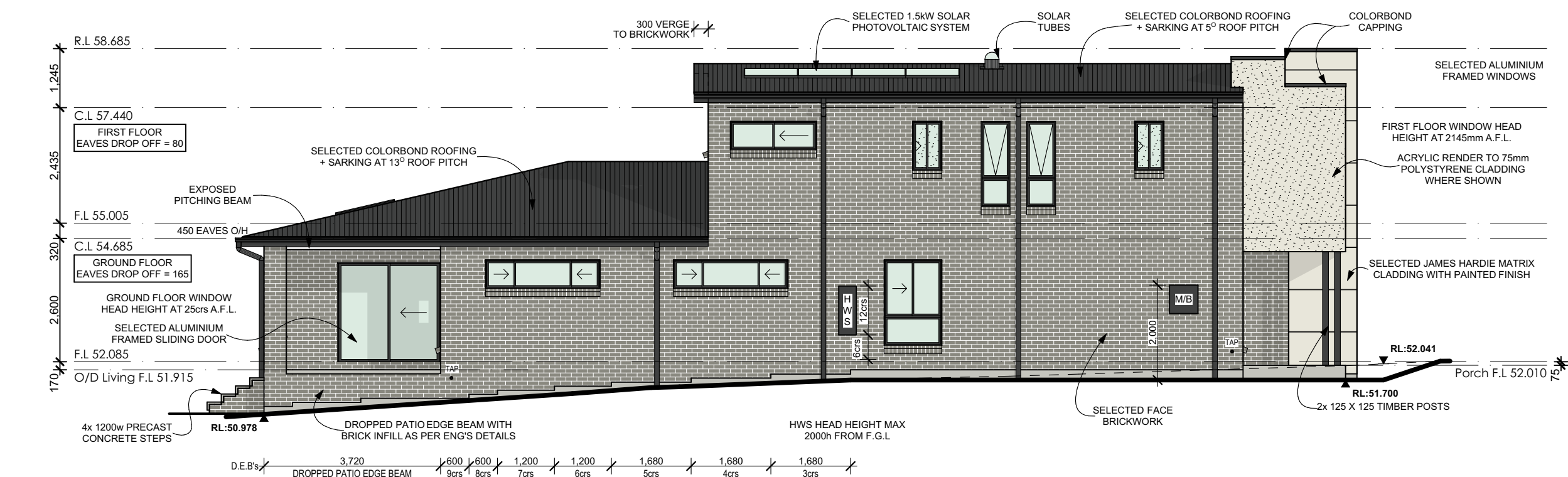
North-Eastern Elevation
Scale 1:100



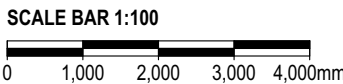
South-Western Elevation
Scale 1:100



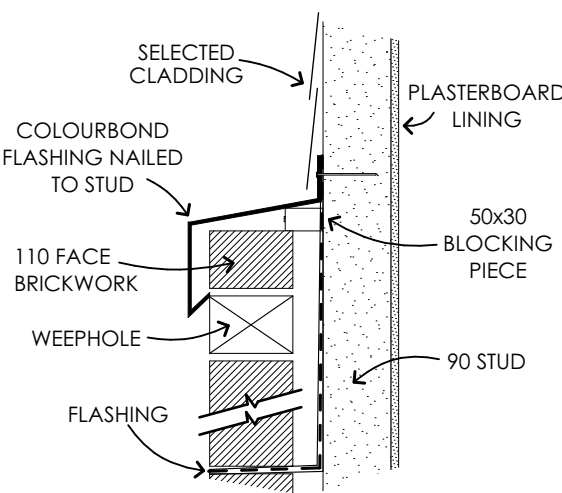
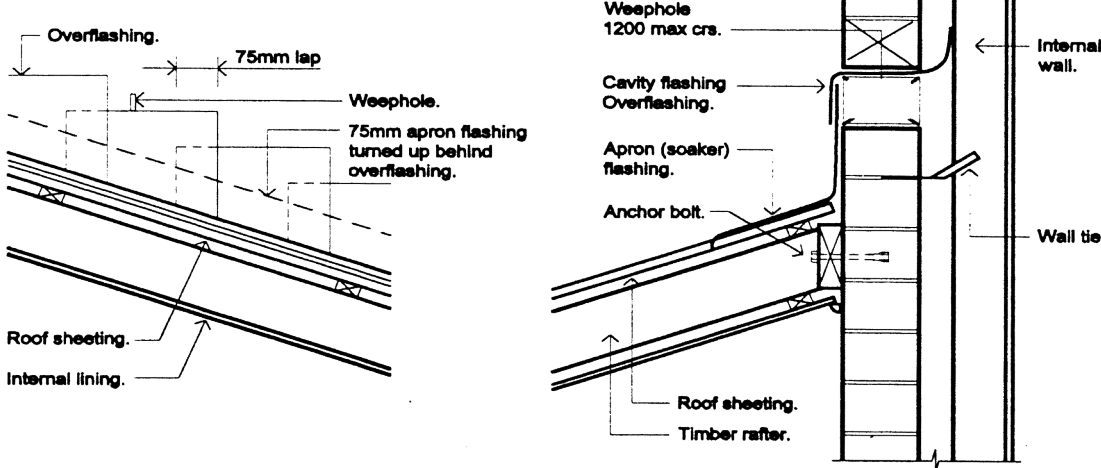
North-Western Elevation
Scale 1:100



South-Eastern Elevation
Scale 1:100



STEPPED CAVITY FLASHINGS



DETAIL 1



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Rev	Date	Amendment
C	08.04.25	BASIS INFO, ADDED & DA PLANS - CA
B	19.12.24	PLAN AMENDMENTS - CA
A	03.12.24	CONTRACT DRAWINGS - EZ

Plot Date: Tuesday, 8 April 2025

Soil Class:	Slab Class:	Wind Class:
TBC	TBC	TBC

NOT FOR CONSTRUCTION

Proposed: Duplex Design

Lot:62 DP:11322
No. 117 Remly Street
Roselands, NSW 2196

Client : **Michael Panormitis Giakoumis & Karina Pamela Giakoumis**

LGA: Canterbury-Bankstown Council Date: 29.11.24

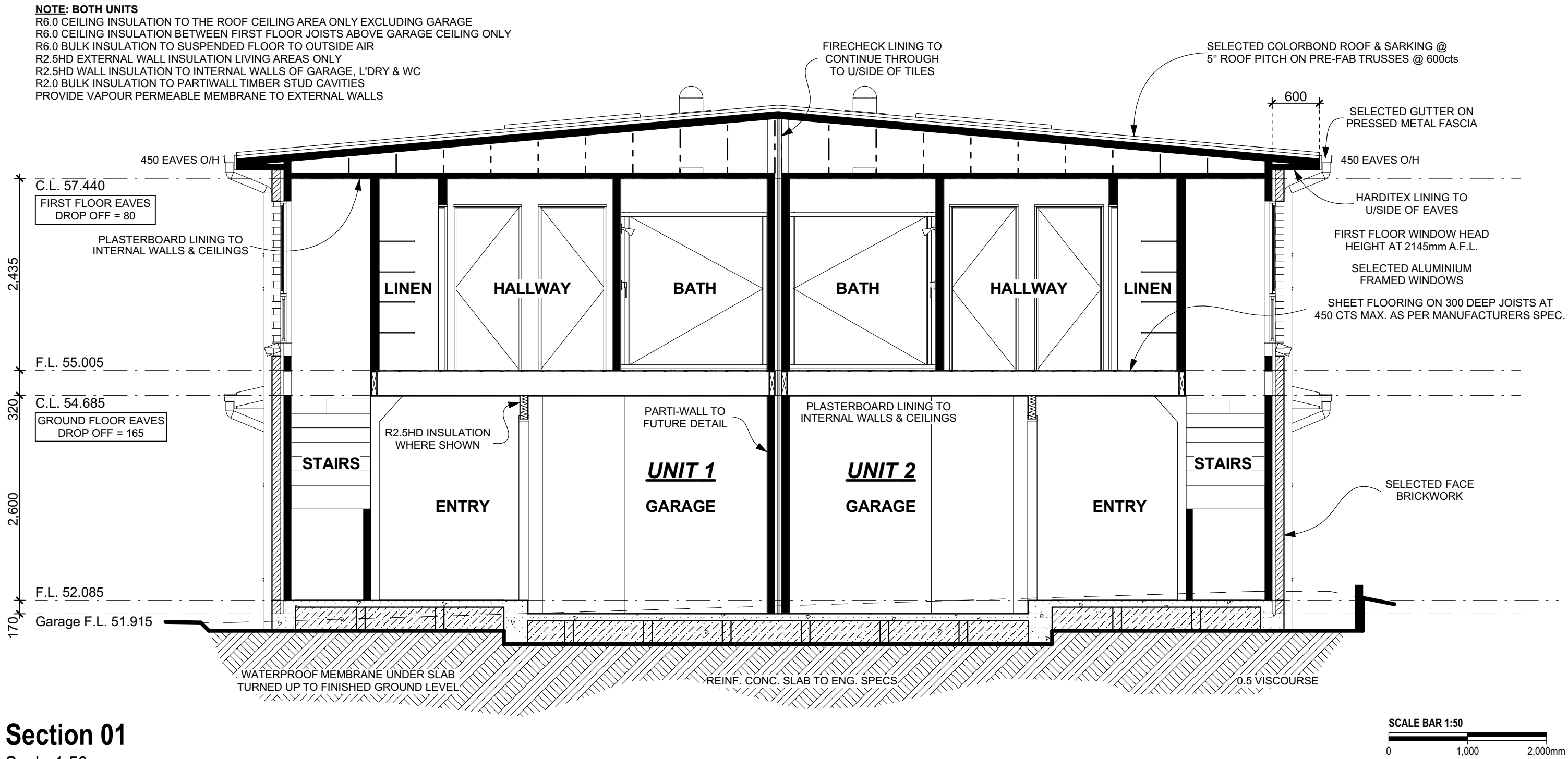
Design : **Modified Leura 438 (City)**

Job No: **4809N** Sheet Size: A2 Sheet No: 9 of 13

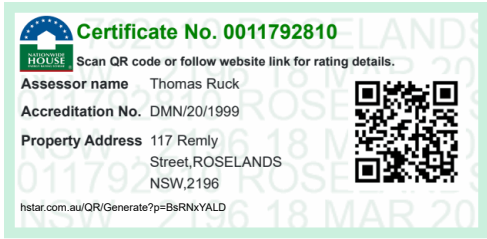


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PROTECTION OF OPENABLE WINDOWS AS PER NCC 2022 (11.3.7)
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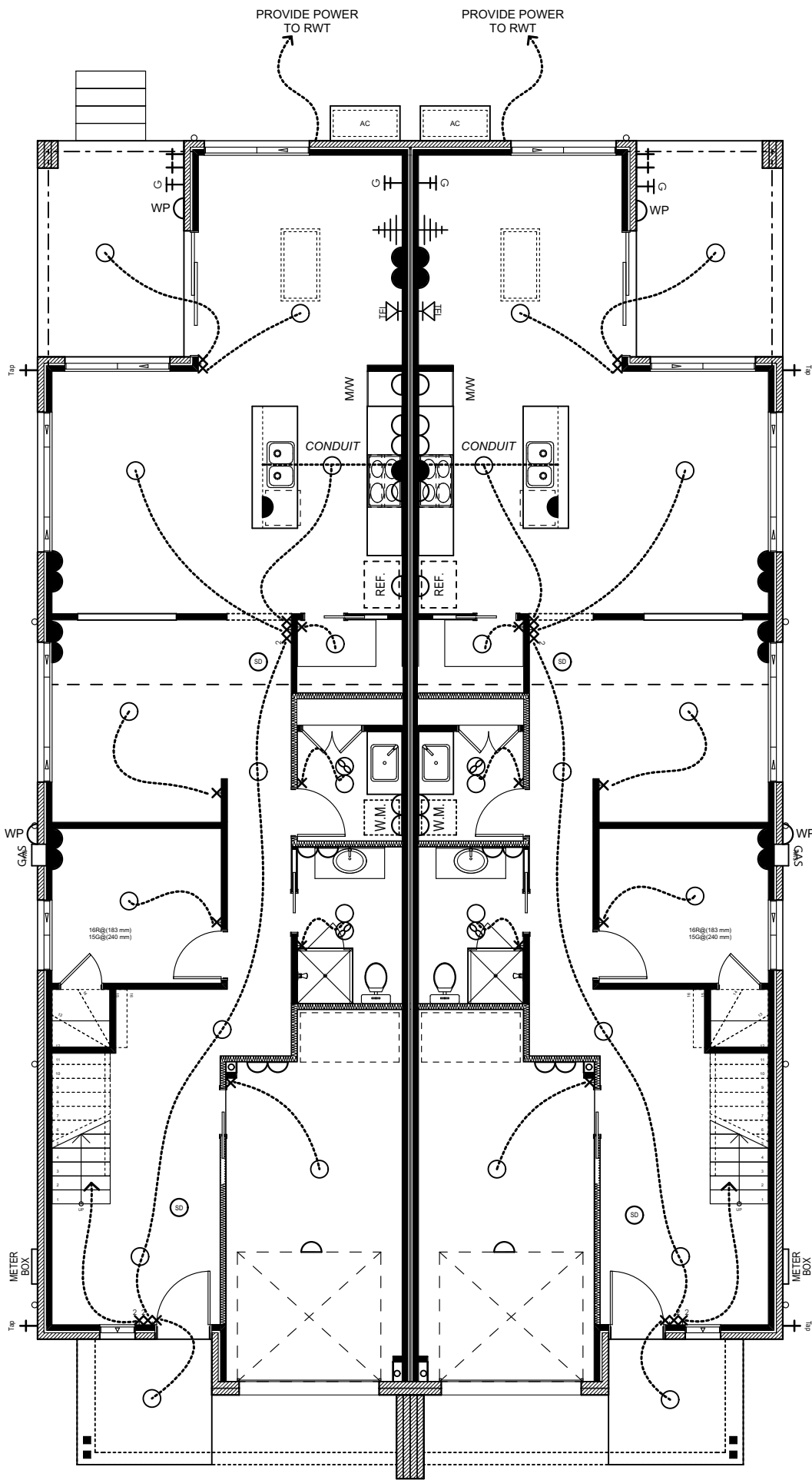
Section 01
Scale 1:50



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Rev	Date	Amendment

Plot Date: Tuesday, 8 April 2025		
Soil Class:	Slab Class:	Wind Class:
TBC	TBC	TBC
NOT FOR CONSTRUCTION		
Proposed: Duplex Design		
Lot:62 DP:11322 No. 117 Remly Street Roselands, NSW 2196		
Client : Michael Panormitis Giakoumis & Karina Pamela Giakoumis		
LGA:	Canterbury-Bankstown Council	Date: 29.11.24
Design : Modified Leura 438 (City)		
Job No:	4809N	Sheet Size: A2
		Sheet No: 10 of 13
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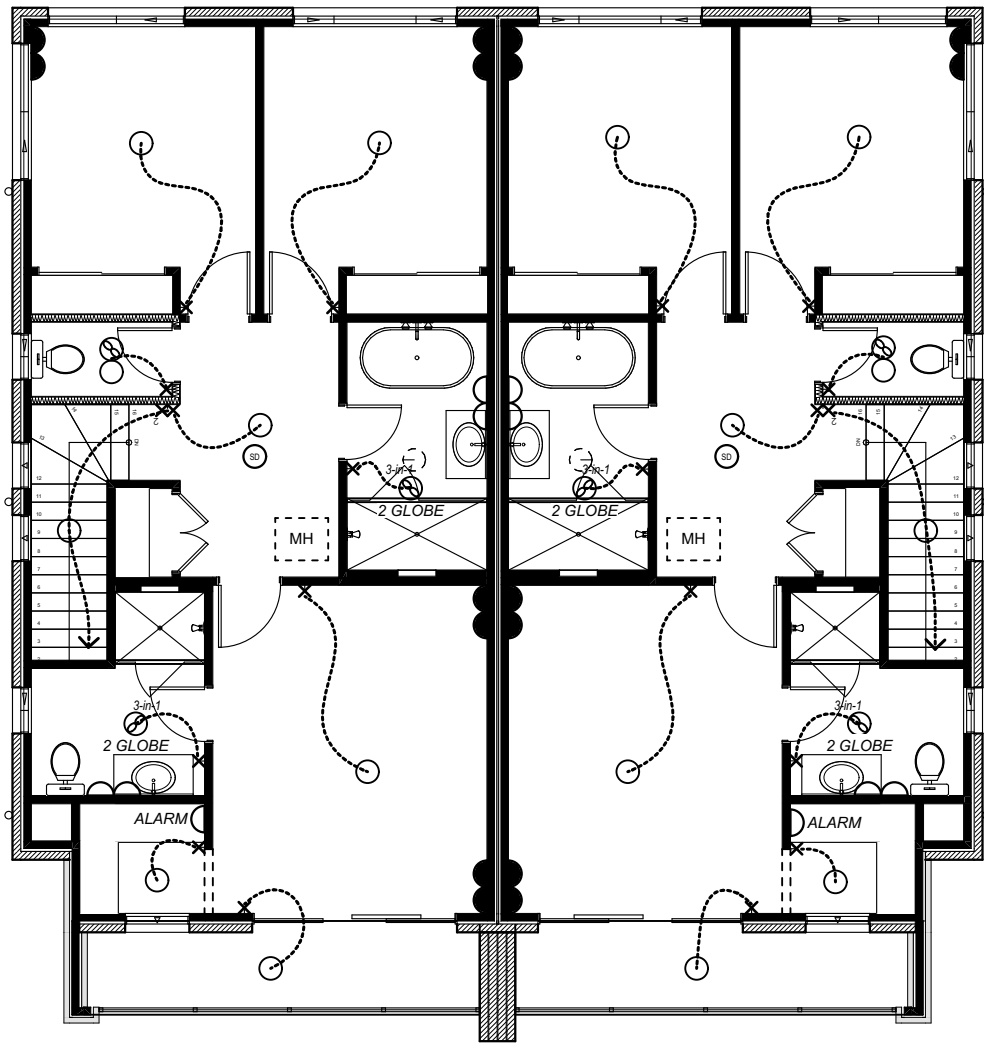
GROUND FLOOR PLAN

- NOTES: BOTH UNITS**
- ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR WITH SELF-CLOSING DAMPERS
 - MECHANICAL VENTILATION TO COMPLY WITH NCC 2022 (10.8.2)
 - DUCT KITCHEN RANGEHOOD TO OUTSIDE AIR
 - PROVIDE ALARM SYSTEM
 - PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING WITH INVERTER (2) ZONES
 - PROVIDE REMOTE CONTROL TO GARAGE DOORS (2) HANDSETS
 - SMOKE ALARMS TO BE INSTALLED & INTERLOCKED AS NCC 2022 (9.5.1)

- NOTES: PROVIDE THE FOLLOWING ADDITIONAL POINTS WITH THEIR LOCATION TO BE NOMINATED AT ELECTRICAL APPOINTMENT TO BOTH UNITS.**
- PROVIDE (20) LED DOWN LIGHTS
 - PROVIDE (2) DATA POINTS
 - PROVIDE (2) TELEVISION POINTS
 - PROVIDE (2) TELEPHONE POINTS
 - PROVIDE (12) DOUBLE POWER POINTS

NOTE: BOTH UNITS
CONDUIT FOR ISLAND BENCH TO RUN BENEATH SLAB SURFACE

NOTE: BOTH UNITS
PROVIDE 1.5kW SOLAR PHOTOVOLTAIC SYSTEM



FIRST FLOOR PLAN

ELECTRICAL SCHEDULE - DUPLEX				
DWELLING	Symbol	ITEM	Q'ty	Height (1=300, 2=1100, 3=1600)
Unit 1, Ground Floor Level				
	⊙	Exhaust fan	2	---
	⊕	Gas Bayonet	2	---
	⬤	GPO	2	1
	⬤	GPO	4	1
	⬤	GPO	4	2
	⬤	GPO	6	2
	☎	Phone	1	---
	⊕	Smoke Detector	2	---
	○	Standard light	14	---
	✕	Switch	1	1
	✕✕	Switch	1	2
	✕✕	Switch	1	2
	✕✕✕	Switch	1	3
	✕	Switch	6	1
	⊕	Television point	1	---
Unit 1, First Floor Level				
	⊙	Exhaust fan	1	---
	⊕	Exhaust fan	2	---
	⬤	GPO	1	2
	⬤	GPO	2	2
	⬤	GPO	4	1
	⊕	Smoke Detector	1	---
	○	Standard light	8	---
	✕	Switch	1	2
	✕	Switch	8	1


ELECTRICAL SCHEDULE - DUPLEX				
DWELLING	Symbol	ITEM	Q'ty	Height (1=300, 2=1100, 3=1600)
Unit 2, Ground Floor Level				
	⊙	Exhaust fan	2	---
	⊕	Gas Bayonet	2	---
	⬤	GPO	2	1
	⬤	GPO	4	1
	⬤	GPO	4	2
	⬤	GPO	6	2
	☎	Phone	1	---
	⊕	Smoke Detector	2	---
	○	Standard light	14	---
	✕	Switch	1	1
	✕✕	Switch	1	2
	✕✕	Switch	1	2
	✕✕✕	Switch	1	3
	✕	Switch	6	1
	⊕	Television point	1	---
Unit 2, First Floor Level				
	⊙	Exhaust fan	1	---
	⊕	Exhaust fan	2	---
	⬤	GPO	1	2
	⬤	GPO	2	2
	⬤	GPO	4	1
	⊕	Smoke Detector	1	---
	○	Standard light	8	---
	✕✕	Switch	1	2
	✕	Switch	8	1



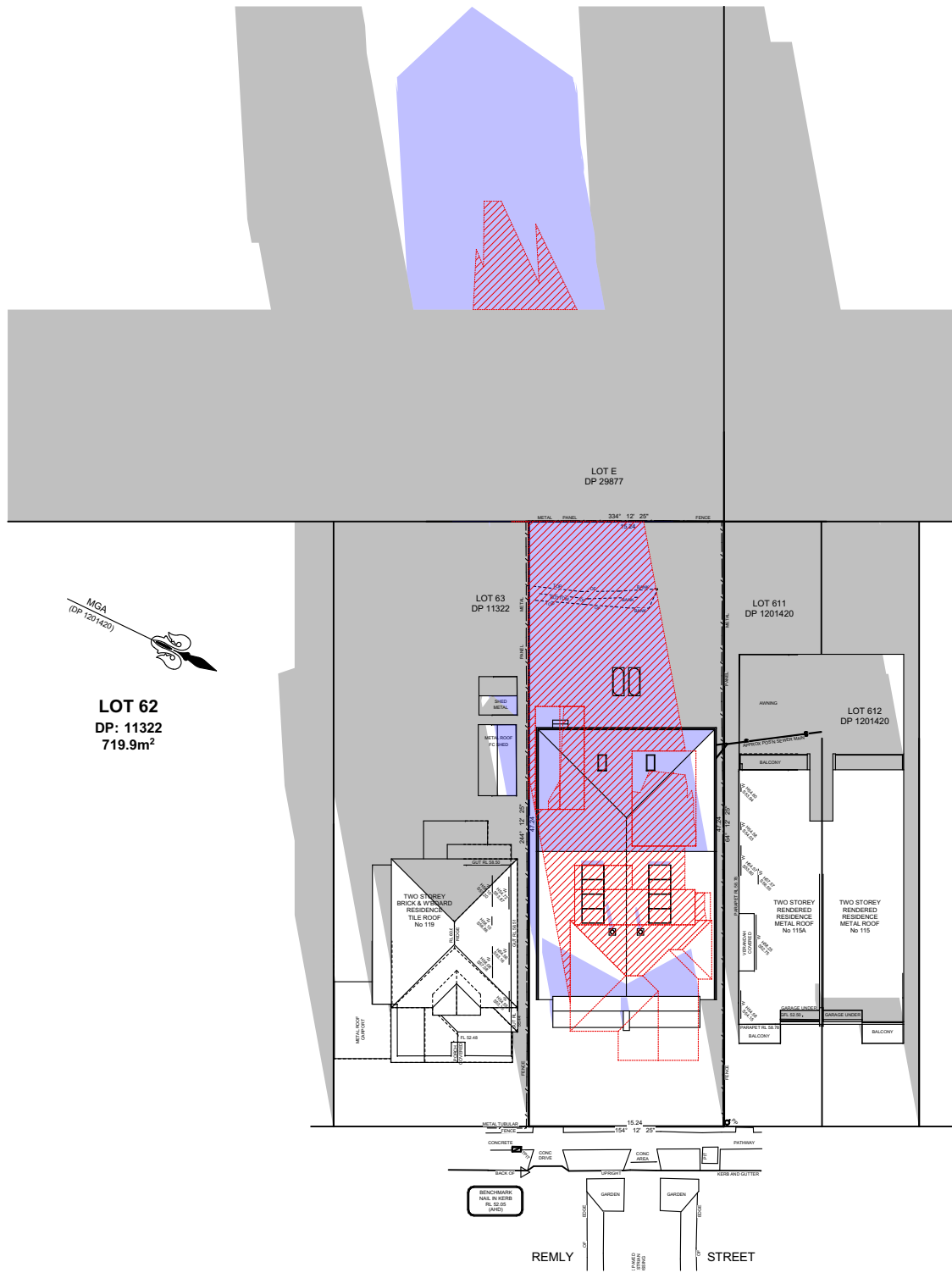
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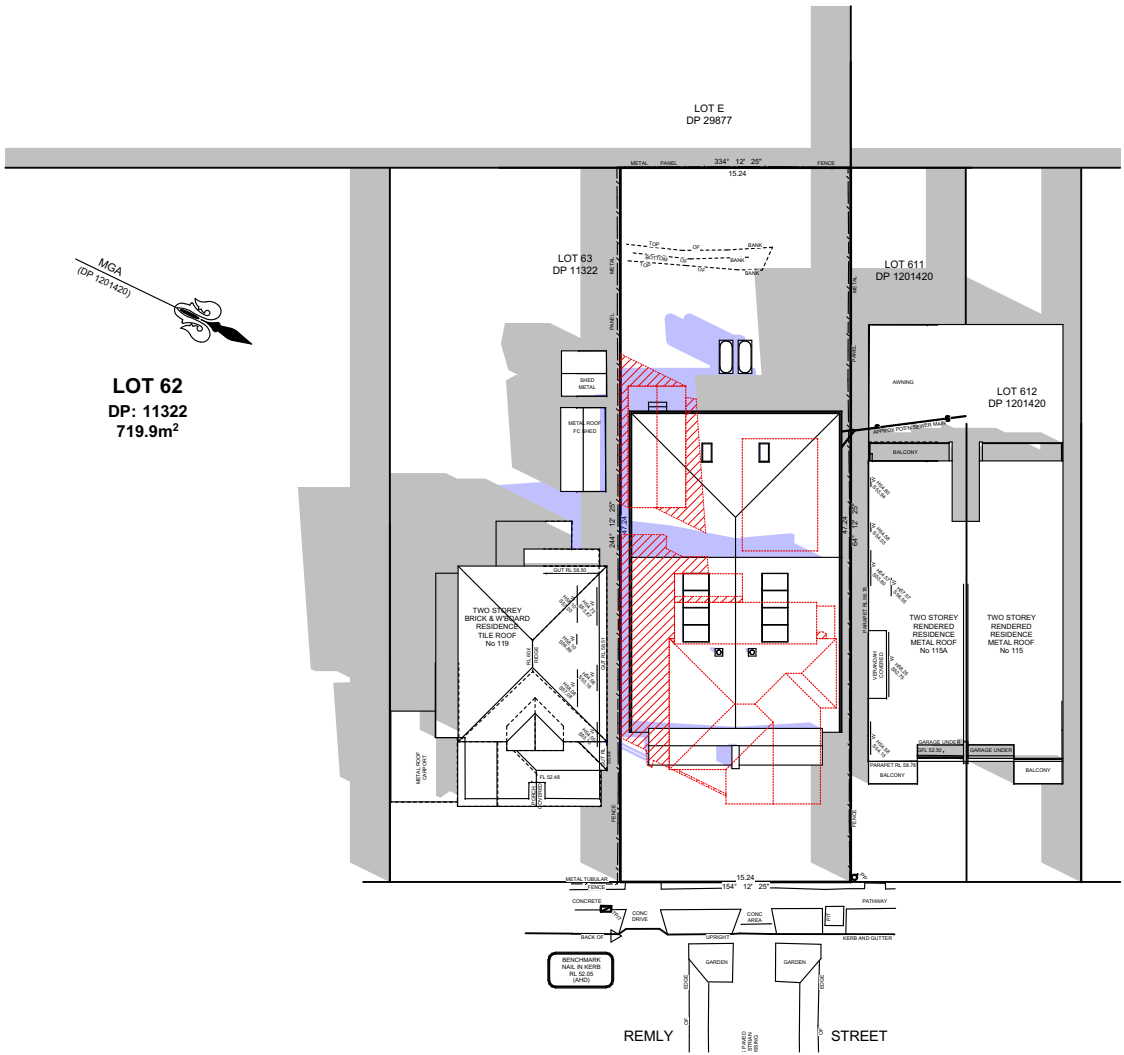
Plot Date: Tuesday, 8 April 2025

Soil Class:	Slab Class:	Wind Class:
TBC	TBC	TBC
NOT FOR CONSTRUCTION		
Proposed: Duplex Design		
Lot:62 DP:11322 No. 117 Remly Street Roselands, NSW 2196		
Client : Michael Panormitis Giakoumis & Karina Pamela Giakoumis		
LGA:	Canterbury-Bankstown Council	Date: 29.11.24
Design : Modified Leura 438 (City)		
Job No:	4809N	Sheet Size: A2
		Sheet No: 11 of 13
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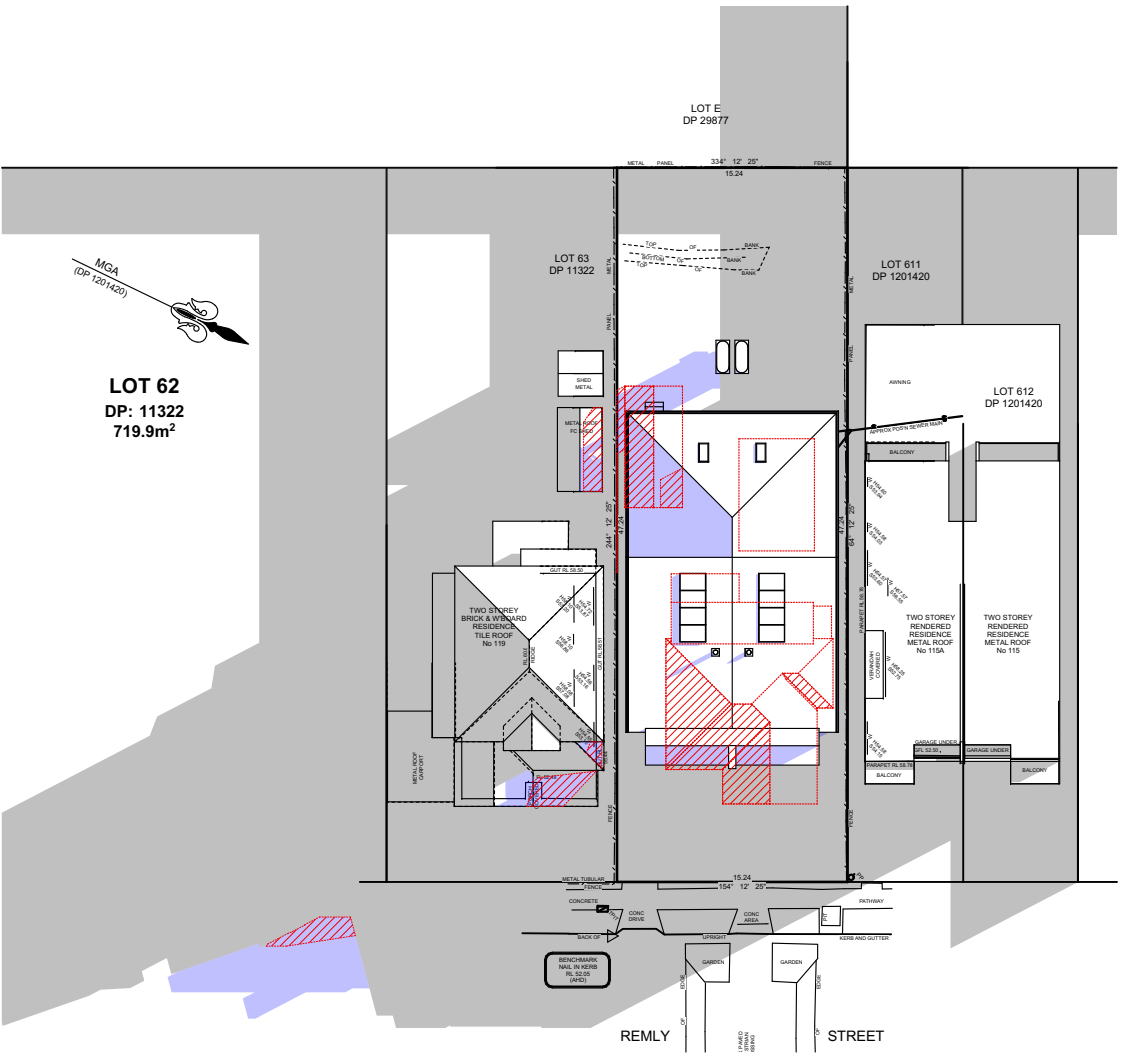
Shadow Diagrams & Elevations
(Winter Solstice)



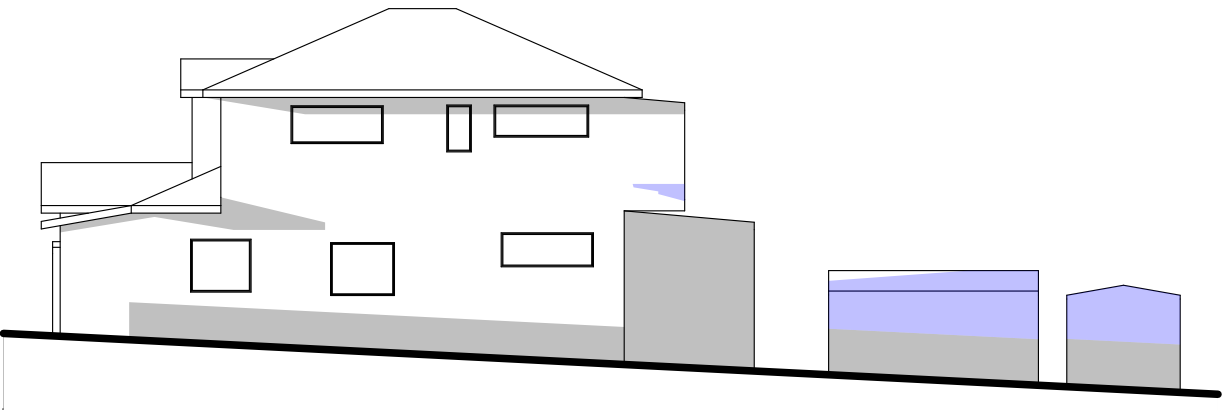
21st June - 8:00am
Scale 1:500



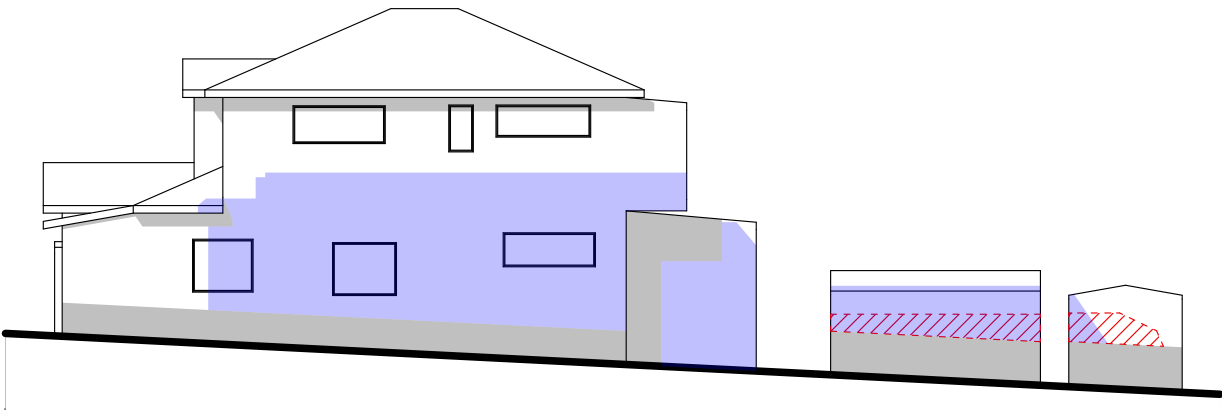
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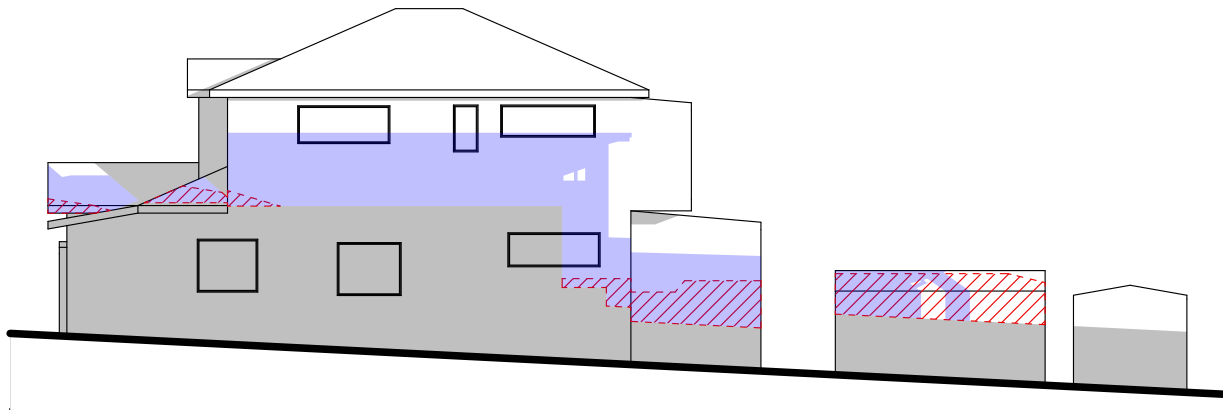
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Scale 1:500



21st June - 8:00am
Scale 1:200



21st June - 12:00pm
Scale 1:200



21st June - 4:00pm
Scale 1:200

Certificate No. 0011792810

Scan QR code or follow website link for rating details.

Assessor name Thomas Ruck

Accreditation No. DMN/20/1999

Property Address 117 Remly Street, ROSELANDS NSW 2196

hstar.com.au/QR/Generate?ip=BU&M=Y&LD

SHADOW DIAGRAM LEGEND:

SHADOWS CAST BY NEIGHBOURING PROPERTIES & BOUNDARY FENCEING.

SHADOWS CAST BY EXISTING DWELLING TO BE DEMOLISHED.

SHADOWS CAST BY PROPOSED DWELLING.

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Soil Classification: TBC

Slab Classification: TBC

Wind Speed Class: TBC

C	08.04.25	BASIX INFO, ADDED & DA PLANS - CA
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Proposed: Duplex Design

Lot:62 DP:11322

No. 117 Remly Street

Roselands, NSW 2196

Client : Michael Panormitis Giakoumis & Karina Pamela Giakoumis

LGA: Canterbury-Bankstown Council

Date: 29.11.24

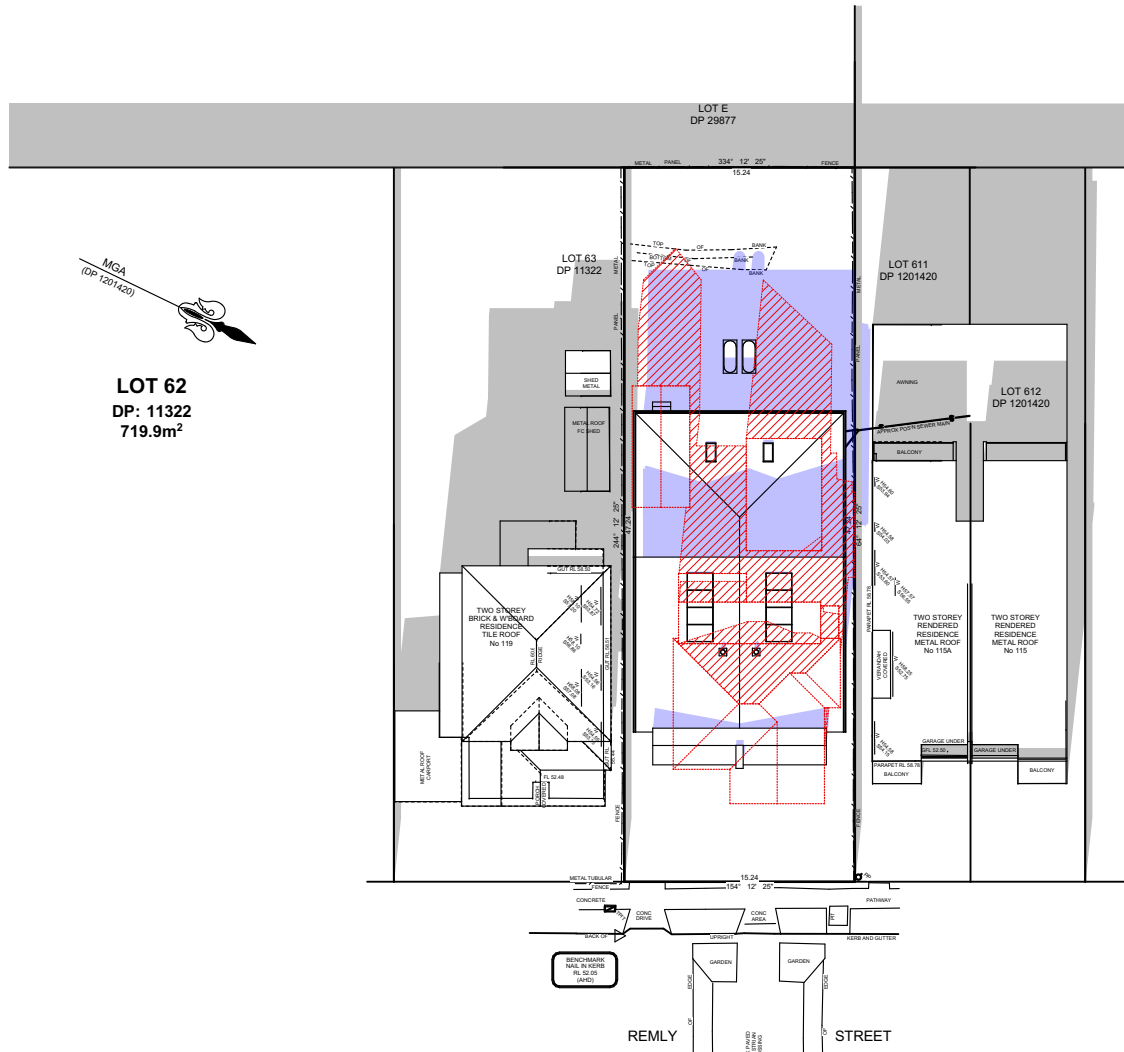
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Job No: 4809N

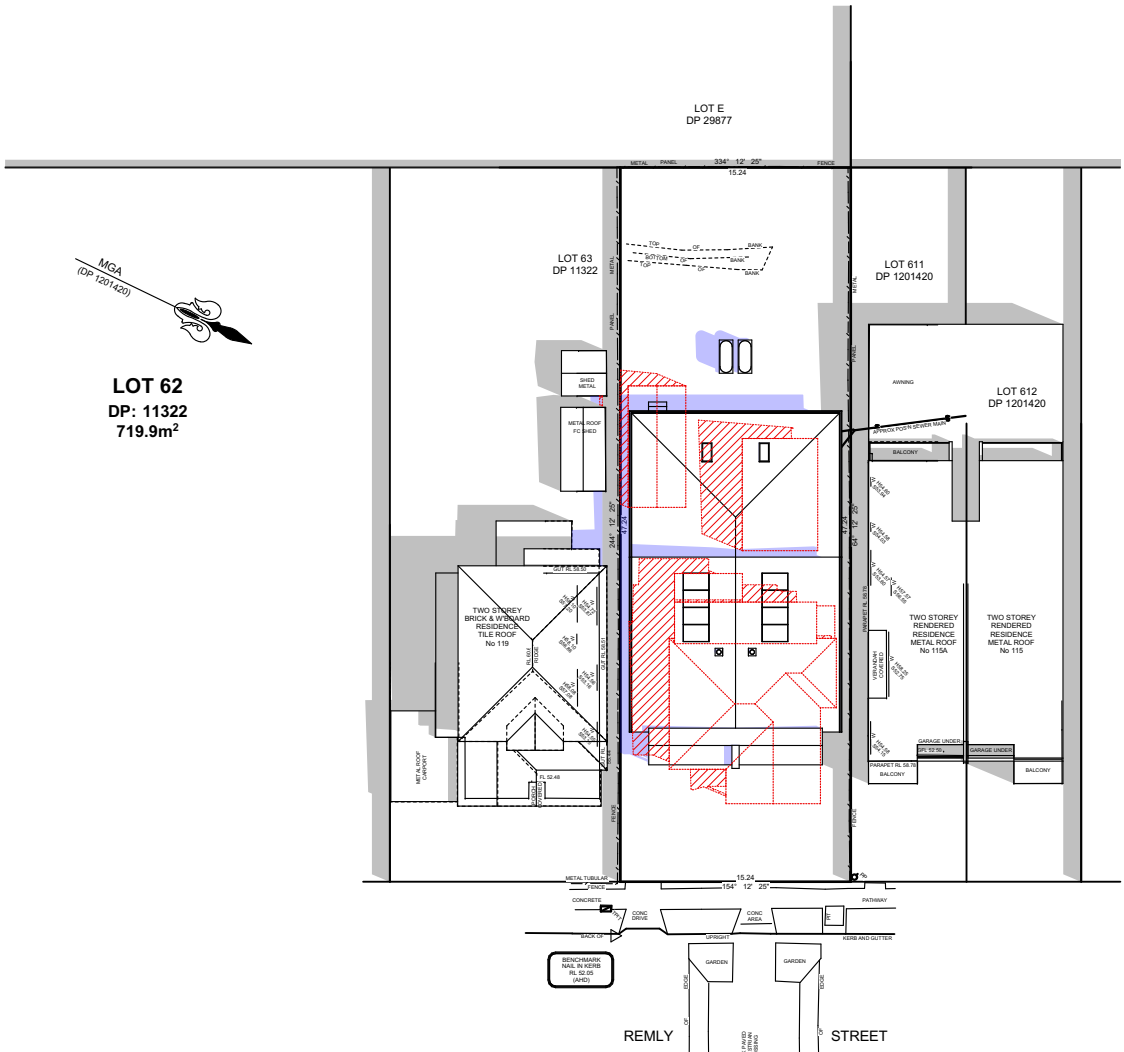
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Sheet No: 12 of 13

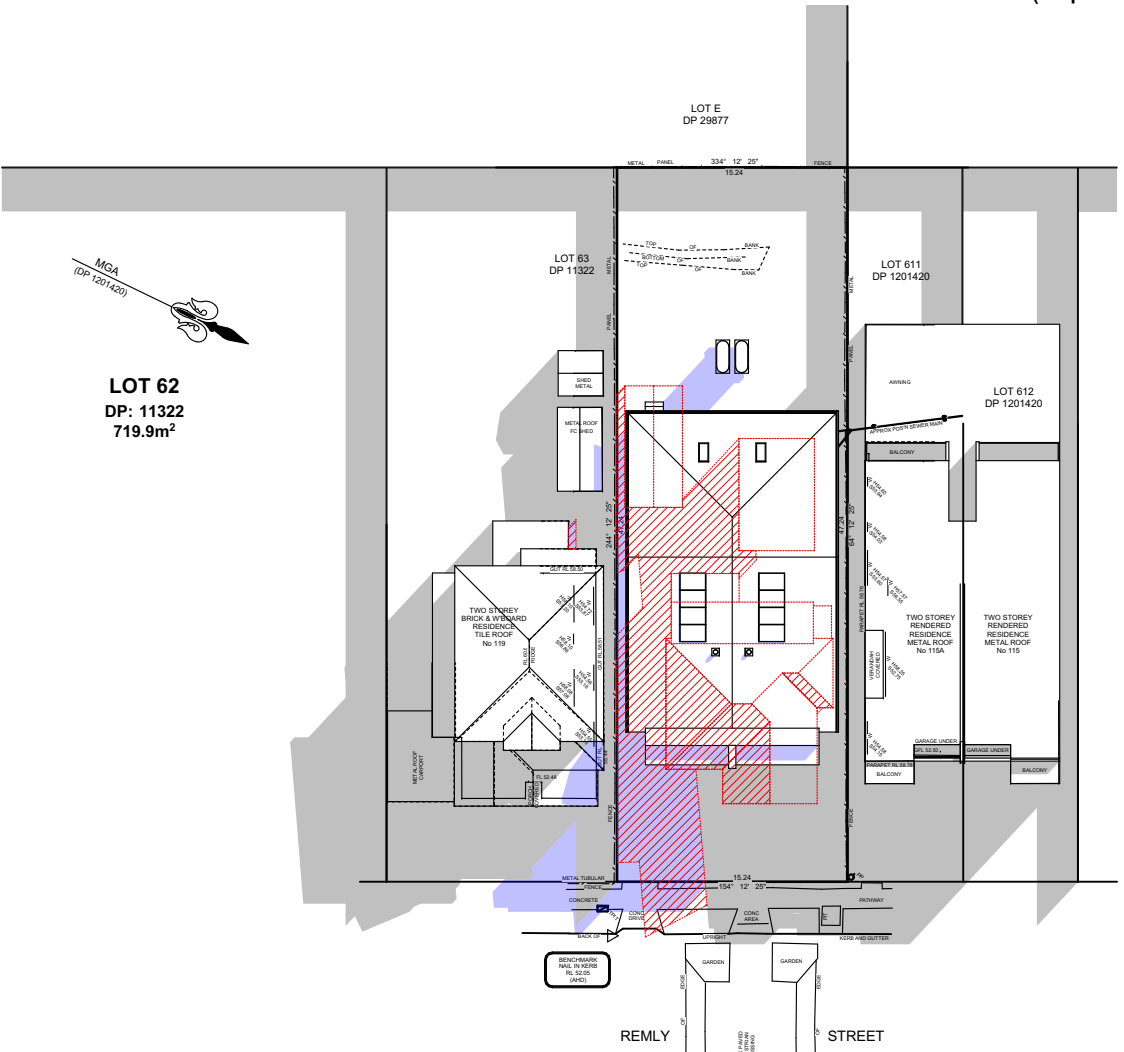
Shadow Diagrams & Elevations
(Equinox)



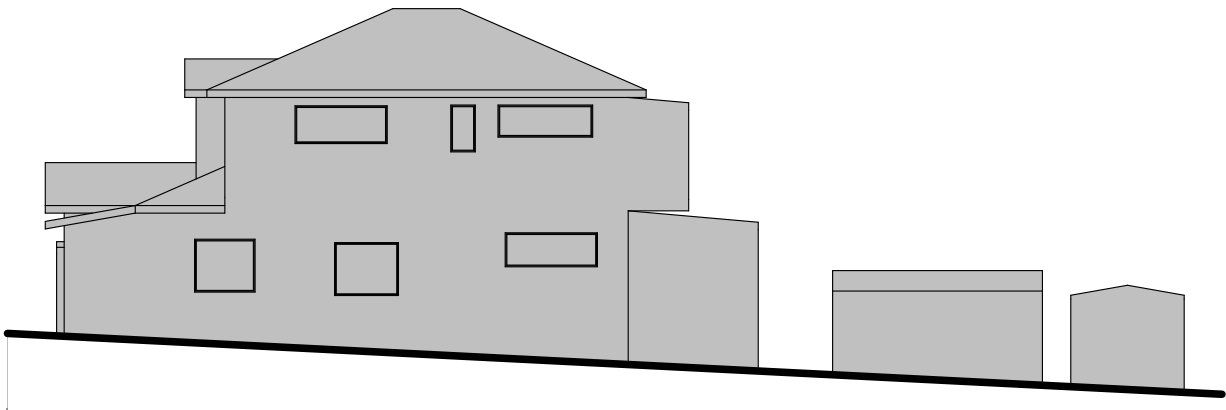
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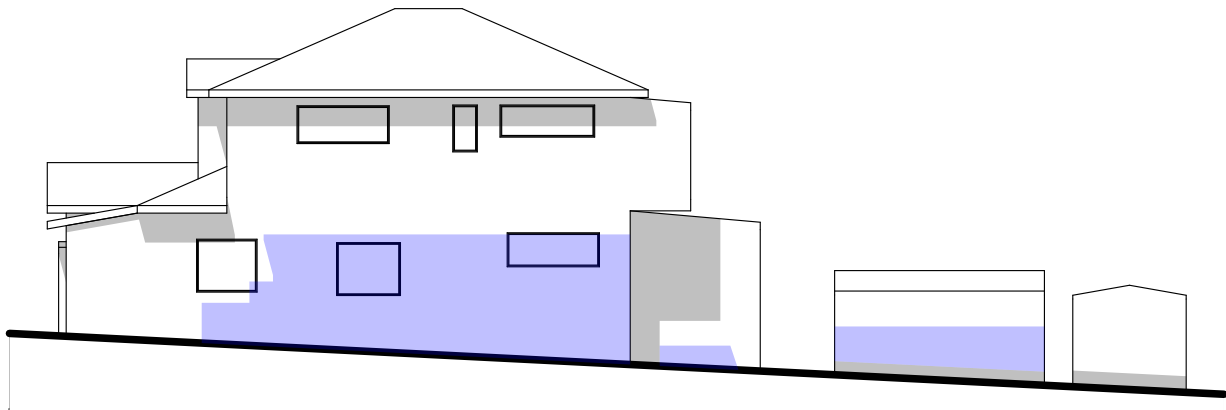
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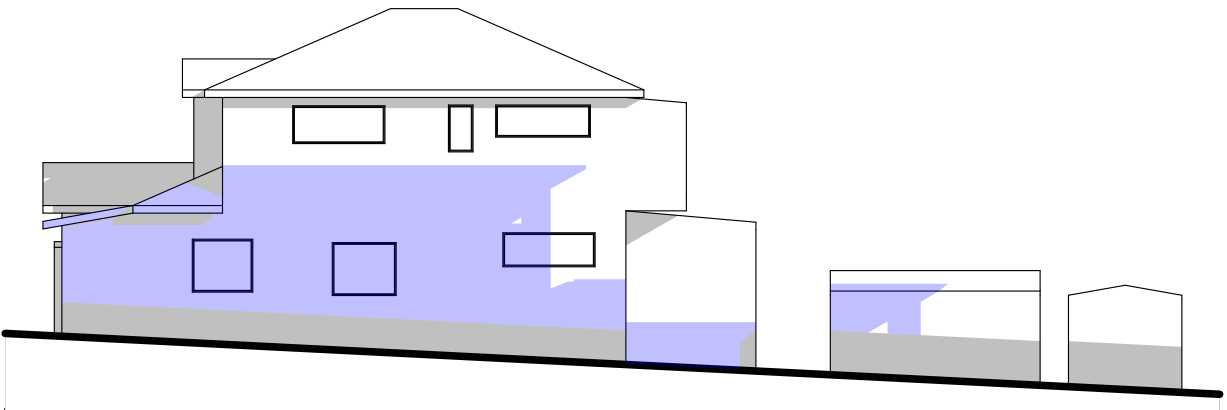
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21st September - 8:00am
Scale 1:200



21st September - 12:00pm
Scale 1:200



21st September - 4:00pm
Scale 1:200

Certificate No. 0011792810

Scan QR code or follow website link for rating details.

Assessor name Thomas Ruck

Accreditation No. DMN/201999

Property Address 117 Remly Street, ROSELANDS NSW 2196

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SHADOW DIAGRAM LEGEND:

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							Client : Michael Panormitis Giakoumis & Karina Pamela Giakoumis		
							LGA: Canterbury-Bankstown Council	Date: 29.11.24	
			<div><div>C</div><div>08.04.25</div><div>BASIX INFO, ADDED & DA PLANS - CA</div></div> <div><div>B</div><div>19.12.24</div><div>PLAN AMENDMENTS - CA</div></div> <div><div>A</div><div>03.12.24</div><div>CONTRACT DRAWINGS - EZ</div></div> <div><div>Rev</div><div>Date</div><div>Amendment</div></div>				Design : Modified Leura 438 (City)		